



## EAST AREA COMMITTEE



### AGENDA

**To: City Councillors:** Blencowe (Chair), Owers (Vice-Chair), Benstead, Brown, Hart, Herbert, Johnson, Marchant-Daisley, Moghadas, Roberts, Saunders and Smart

**County Councillors:** Bourke, Kavanagh, Walsh and Whitehead

*Dispatched: Wednesday, 12 February 2014*

**Date:** Thursday, 20 February 2014

**Time:** 7.00 pm

**Venue:** Meeting Room - Cherry Trees Day Centre

**Contact:** Glenn Burgess

**Direct Dial:** 01223 457013

The East Area Committee agenda is usually in the following order:

- Open Forum for public contributions
- Delegated decisions and issues that are of public concern, including further public contributions
  - Planning Applications

This means that planning items will not normally be considered until at least 8pm.

#### 1 APOLOGIES FOR ABSENCE

#### 2 DECLARATIONS OF INTEREST

Members of the committee are asked to declare any interests in the items on the agenda. In the case of any doubt, the advice of the Head of Legal should be sought **before the meeting**.

## Minutes And Matters Arising

### 3 **MINUTES** (*Pages 9 - 20*)

To confirm the minutes of the meeting held on 9 January 2014.

### 4 **MATTERS & ACTIONS ARISING FROM THE MINUTES**

*(Pages 21 - 24)*

Reference will be made to the Committee Action Sheet available under the 'Matters & Actions Arising From The Minutes' section of the previous meeting agenda.

General agenda information can be accessed using the following hyperlink:

<http://democracy.cambridge.gov.uk/ieListMeetings.aspx?CommitteeId=147>

### 5 **EAC MEETING DATES 2014/15** Committee Manager

The Committee is asked to agree the following meeting date:

- **19 June 2014**

And to provisionally agree the following meeting dates (subject to further member discussion on the format of future meetings):

- **31 July 2014**
- **21 August 2014**
- **11 September 2014**
- **23 October 2014**
- **4 December 2014**
- **8 January 2015**
- **19 February 2015**
- **9 April 2015**

Members are asked to contact the Committee Manager in advance of the meeting with any comments regarding the above dates.

**6 DECISIONS TAKEN REGARDING S106 PROJECTS**

To note decisions taken by the Area Committee since the last meeting.

- 6a Improve Access to Abbey Paddling Pools from Coldham's Common (*Pages 25 - 40*)

**Open Forum: Turn Up And Have Your Say About Non-Agenda Items**

**7 OPEN FORUM**

Refer to the 'Information for the Public' section for rules on speaking.

**8 STAGECOACH - PRESENTATION AND Q&A**

Presentation by the Managing Director of Stagecoach East explaining the situation between commercial bus operation and supported services – followed by a question and answers session.

**Items For Decision / Discussion Including Public Input**

**9 PROJECT APPRAISAL - ROSS STREET COMMUNITY CENTRE IMPROVEMENTS (*Pages 41 - 48*)**

**Intermission**

**Appendix 1 for Full Details of Central Government Planning Guidance**

## Planning Items

### **10 PLANNING APPLICATIONS**

The applications for planning permission listed below require determination. A report is attached with a plan showing the location of the relevant site. Detailed plans relating to the applications will be displayed at the meeting.

**11 13/1465/FUL - 6 HOOPER STREET** (*Pages 59 - 88*)

**12 13/1644/FUL - 56 AND 56A MILL ROAD** (*Pages 89 - 120*)

**13 13/1814/FUL - LAND R/O 76 ABBEY ROAD**  
(*Pages 121 - 146*)



# Meeting Information

## Open Forum

Members of the public are invited to ask any question, or make a statement on any matter related to their local area covered by the City Council Wards for this Area Committee. The Forum will last up to 30 minutes, but may be extended at the Chair's discretion. The Chair may also time limit speakers to ensure as many are accommodated as practicable.

## Public Speaking on Planning Items

Area Committees consider planning applications and related matters. On very occasions some meetings may have parts, which will be closed to the public, but the reasons for excluding the press and public will be given.

Members of the public who want to speak about an application on the agenda for this meeting may do so, if they have submitted a written representation within the consultation period relating to the application and notified the Committee Manager that they wish to speak by **12.00 noon on the working day before** the meeting.

Public speakers will not be allowed to circulate any additional written information to their speaking notes or any other drawings or other visual material in support of their case that has not been verified by officers and that is not already on public file.

For further information on speaking at committee please contact Democratic Services on 01223 457013 or [democratic.services@cambridge.gov.uk](mailto:democratic.services@cambridge.gov.uk).

Further information is also available online at

<https://www.cambridge.gov.uk/speaking-at-committee-meetings>

The Chair will adopt the principles of the public speaking scheme regarding planning applications for general planning items and planning enforcement items.

Cambridge City Council would value your assistance in improving the public speaking process of committee meetings. If you have any feedback please contact Democratic Services on 01223 457013 or [democratic.services@cambridge.gov.uk](mailto:democratic.services@cambridge.gov.uk).

## **Representations on Planning Applications**

**Public representations** on a planning application should be made in writing (by e-mail or letter, in both cases stating your full postal address), within the deadline set for comments on that application. You are therefore strongly urged to submit your representations within this deadline.

**Submission of late information** after the officer's report has been published is to be avoided. A written representation submitted to the Environment Department by a member of the public after publication of the officer's report will only be considered if it is from someone who has already made written representations in time for inclusion within the officer's report.

Any public representation received by the Department after 12 noon two working days before the relevant Committee meeting (e.g. by 12.00 noon on Monday before a Wednesday meeting; by 12.00 noon on Tuesday before a Thursday meeting) will not be considered.

The same deadline will also apply to the receipt by the Department of additional information submitted by an applicant or an agent in connection with the relevant item on the Committee agenda (including letters, e-mails, reports, drawings and all other visual material), unless specifically requested by planning officers to help decision-making.

## **Filming, recording and photography**

The Council is committed to being open and transparent in the way it conducts its decision-making. Recording is permitted at council meetings, which are open to the public. The Council understands that some members of the public attending its meetings may not wish to be recorded. The Chair of the meeting will facilitate by ensuring that any such request not to be recorded is respected by those doing the recording.

Full details of the City Council's protocol on audio/visual recording and photography at meetings can be accessed via:

<http://democracy.cambridge.gov.uk/ecSDDisplay.aspx?NAME=SD1057&ID=1057&RPID=33371389&sch=doc&cat=13203&path=13020%2c13203>.

**Fire Alarm** In the event of the fire alarm sounding please follow the instructions of Cambridge City Council staff.

**Facilities for disabled people** Level access is available at all Area Committee Venues.

A loop system is available on request.

Meeting papers are available in large print and other formats on request prior to the meeting.

For further assistance please contact Democratic Services on 01223 457013 or [democratic.services@cambridge.gov.uk](mailto:democratic.services@cambridge.gov.uk).

**Queries on reports** If you have a question or query regarding a committee report please contact the officer listed at the end of relevant report or Democratic Services on 01223 457013 or [democratic.services@cambridge.gov.uk](mailto:democratic.services@cambridge.gov.uk).

**General Information** Information regarding committees, councilors and the democratic process is available at <http://democracy.cambridge.gov.uk>.

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**EAST AREA COMMITTEE**

9 January 2014  
7.00pm - 10.25 pm

**Present:** Councillors Blencowe (Chair), Owers (Vice-Chair), Hart, Herbert, Johnson, Moghadas, Roberts, Saunders, Smart, Bourke, Kavanagh, Walsh and Whitehead

**County Councillors:** Bourke, Kavanagh, Walsh and Whitehead

**Officers:**

Principal Planning Officer: Tony Collins

Planning Officer Natalie Westgate

Head of Tourism and City Centre Management: Emma Thornton

Project Delivery and Environment Manager: Andy Preston

Safer Communities Section Manager: Lynda Kilkelly

Committee Manager: Glenn Burgess

**Other in Attendance:**

Mill Road Coordinator: Ceri Littlechild

Detective Chief Inspector Sloane

<b>FOR THE INFORMATION OF THE COUNCIL</b>
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**Request to film the meeting**

The Chair gave permission for Mr Taylor to film the meeting. It was confirmed that filming would cease if members of the public or speakers expressed a desire not to be filmed.

**14/1/EAC Apologies For Absence**

Apologies were received from Councillors Benstead, Brown and Marchant-Daisley.

**14/2/EAC Declarations Of Interest**

<b>Councillor</b>	<b>Item</b>	<b>Interest</b>
Saunders	14/5/EAC	Personal: Member of the Cambridge Cycling Campaign.

**14/3/EAC Minutes**

It was noted that the comment attributed to Councillor Johnson on page 11 (regarding engaging local students and a visit to Parkside Sixth Form) was actually made by Councillor Roberts.

With this minor amendment the minutes of the meeting of the 28 November 2013 were approved and signed as a correct record.

**14/4/EAC Matters & Actions Arising From The Minutes**

An updated Action Sheet from the meeting held on 28 November 2013 was circulated.

It was confirmed that Councillor Whitehead had forwarded details regarding double yellow lines to Mr Fernando.

**14/5/EAC Open Forum**

- 1. Dr Timothy Grout asked whether, following the rejection of Trumpington Meadows for the Cambridge United 'Community Stadium', the East Area Committee would support suggestions to redevelop the Abbey Stadium.**

Councillor Blencowe responded that, as the Council had already approved redevelopment of the north end of Abbey Stadium, this could be looked into again.

Councillor Herbert responded that, as the area is to be retained as a sports ground, he hoped that Grosvenor would work with Cambridge United to ensure the Stadium met current need.

Councillor Whitehead responded that surveys had been conducted with local residents and had received mixed responses. Whilst many value the Stadium in their Ward, there have been parking problems on match days. Concern has been raised that an increased capacity may result in further problems.

**2. Dr Timothy Grout asked whether the East Area Committee supported, in principal, 20mph speed limits in the area.**

Councillor Blencowe confirmed that the East Area Committee did support this in principal.

**3. Richard Jennings asked Councillors to support a trial of streetscape changes on Riverside and to allocate an amount of money from the area Improvement Fund.**

Councillor Roberts responded that Abbey Ward Councillors were keen on the ideas put forward for the Riverside area and suggested that they be circulated wider and submitted through the formal channels. It was agreed that Abbey Ward Councillors would discuss this in more detail.

Councillor Blencowe responded that the original aim, when funds permitted, had been to upgrade this whole stretch and incorporate it into the 'Riverside Vision'.

Councillor Johnson thanked Mr Jennings for highlighting this and bringing it to the attention of the committee. It was noted that, whilst the Environmental Improvement Funds would not be available until the summer, other sources of funding may be available.

**4. Mr Antony Carpen expressed thanks to Councillors, the Police and the Fire Service for attending the recent event at Morley School.**

Noted

**5. Mr Antony Carpen suggested that the East Area Committee hold a future meeting at Coleridge School.**

The Chair agreed to consider this, but did point out that the committee had made a prior decision to hold all of its meeting at Cherry Trees Day Centre.

Councillor Saunders asked Councillors if, instead of holding an Area Committee meeting at Coleridge School, they would be prepared to visit it for a Q&A session.

Councillors expressed support for this suggestion.

- 6. Mr Antony Carpen thanked those Councillors that had responded to questions from the last meeting about the 'Shape Your Place' website and social media.**

**The responses can be found via the following link:**

<http://cambridge.shapeyourplace.org/east-area-committee-questions-i-have-submitted-for-answer-on-thurs-28-november/#.UtFHvmRdUww>

Noted

- 7. Mr Simon Nuttall thanked Councillors for the trial of cycle racks in Thoday Street. He requested that a full report on the public consultation, with an Officer recommendation, be produced.**

Whilst Councillor Bourke supported increased cycle parking in the City he did feel that this consultation had been 'messy' and that a more detailed consultation would be beneficial. It was suggested that a door to door survey may produce a better response rate, but did support the idea of a full report and Officer Recommendation.

Councillor Moghadas supported the suggestion of a full report and Officer recommendation and agreed to ask the public's views as part of her regular work in the Ward.

Councillor Saunders responded that it was a difficult issue that affected many people; both residents of Thoday Street and those using its pavements etc.

- 8. Mr Nuttall confirmed that 31 responses had been received from the 80 houses, and felt that a response rate of 40% was very good. The public were fully aware of the trial and all of the houses had been leafleted. He reiterated his request for a full Officer report.**

Councillors Kavanagh supported the need for more cycle parking but highlighted the need for a more detailed consultation.



- 9. Mr Martin Lucas-Smith supported the request for a full Officer report and recommendation on the cycle rack trial in Thoday Street. He noted that over 50% of those who had responded to the consultation had expressed support for the cycle racks. It was also noted that car parking in the area was currently underused.**

Councillor Smart responded that many students had not yet returned to the area so the pressure on car parking could increase. It was noted that, as the consultation was so finely balanced, Officers did not want to go straight to a Traffic Regulation Order (TRO).

- 10. Ms Helen Troughton requested an update on the funding available to lay paving slabs in Norfolk Terrace.**

Councillor Walsh confirmed that £50,000 had been allocated to lay asphalt but that he was in correspondence with Officers regarding additional sources of funding for paving slabs. It was noted that the County Council did have a Local Highways Improvement Programme but this required a 10% contribution from the local residents. It was agreed that Councillor Walsh would contact local residents when he had had a response from Officers.

- 11. Mr Antony Carpen asked Councillors and the public if they had seen the Area Committee posters that he had been putting up throughout the area.**

No one indicated that they had seen one of Mr Carpen's posters.

- 12. Mr Martin Lucas-Smith asked for an update on Eastern Gate.**

Councillor Blencowe responded that the East Area Committee had agreed funding for a feasibility study. It was agreed that Councillor Blencowe would keep Mr Lucas-Smith informed of any progress.

#### **14/6/EAC Consultation on Draft Community Safety Partnership Priorities 2014-15 - EAC 09/01/14**

The Committee received a report from Detective Chief Inspector Sloane regarding the consultation on Draft Community Safety Partnership Priorities.

- 1. Ms Ann Sinnott requested a firm commitment from the Community Safety Partnership to make domestic abuse a high priority.**

Detective Chief Inspector Sloane confirmed that the increase in reported incidents of domestic abuse indicated that improvements were being made in raising the profile of this crime. He confirmed that, whilst it was a priority, further work with the County Council was needed to tackle the issue.

- 2. Mr Antony Carpen highlighted the need for a city-wide Community Development Strategy in order to strengthen local communities.**

This comment was noted.

- 3. Mr Antony Carpen highlighted the lack of night time economy targeted at older people.**

This comment was noted.

- 4. Mr Antony Carpen highlighted the need to work with colleges and language schools to educate students on safe cycling practices.**

This comment was noted.

- 5. Mr Richard Taylor suggested that more joint working between the police, Magistrates, the NHS and Area Committees would be beneficial.**

This comment was noted.

- 6. Councillor Smart highlighted the impact that cuts in mental health services could have and welcomed the inclusion of the related strategic objective. Councillor Moghadas supported this.**

This comment was noted.

- 7. Councillor Hart asked if there was scope to include domestic abuse as a strategic objective in order to raise its profile. Councillor Moghadas supported this.**

Detective Chief Inspector Sloane responded that if domestic abuse was raised as an important issue through the consultation there would be scope to include it as a strategic objective.

- 8. Councillor Owers asked why drug related issues did not feature as a high priority – especially as it was often featured in the Safer Neighbourhood reports.**

Detective Chief Inspector Sloane responded that, whilst the East Area did have a local police priority related to drug offences, this is a city-wide consultation.

- 9. Councillor Moghadas asked how successful the Immobilise Scheme had been.**

Detective Chief Inspector Sloane responded that it was a valuable tool and the police were encouraging as many people as possible to use it.

- 10. Councillor Johnson asked what challenges there were for the police in working in a 2-tier City such as Cambridge.**

Detective Chief Inspector Sloane responded that, whilst good practice was employed from other areas, Cambridge was a fairly unique City. Close working between the police and the two Councils was very important.

- 11. Councillor Roberts commented that the perception of crime, as well as the raw data, was an important factor. It was suggested that more visible policing could be beneficial.**

Detective Chief Inspector Sloane agreed that the perception of crime was an important factor. Bringing crime figures down and then marketing these successes was one way of tackling this.

In response to the discussion, the Area Committee agreed that domestic abuse should be added as an additional strategic priority.

The Area Committee suggested that the following priorities be adopted:

#### Strategic

- To understand the impact of mental health, alcohol and drug misuse on violent crime and anti-social behaviour.
- Domestic Abuse (with local work around awareness raising and training).

#### Tactical

- Personal Acquisitive Crime – looking at emerging trends.
- Alcohol related violent crime – extending the pub clusters if necessary.
- Anti-social Behaviour – embedding new ways of working.

#### To continue to track and support County led work on

- Re-offending.

#### The Partnership will keep a watching brief on road safety issues by:

- Working collaboratively with politicians and the County Road Safety Partnership.
- Addressing local issues through the Neighbourhood profiles at Area Committees.

The Safer Communities Section Manager confirmed that the consultation would be available on the CSP website from 10 January 2014. It was also noted that a full report would be brought back to the Strategy and Resources Scrutiny Committee on 17 March 2014.

### **14/7/EAC Cambridge 20mph Project – Phase 2, East Area Consultation**

The Committee received a report from the Project Delivery and Environment Manager regarding the Cambridge 20mph Project.

In response to member's questions the Project Delivery and Environment Manager confirmed the following:

- Whilst traffic counts will be undertaken on the current 20mph roads, the whole area will form part of the consultation.
- Agreed to expand the wording with regard to 'Mill Road' (page 109 of the agenda pack: Consultation Questionnaire).
- The specific environment of a road determines its suitability for a 20mph zone.

- iv) In the North Area phase of the consultation many respondents suggested the 'splitting' of particular roads. In response to these comments we have therefore given this option in the East Area phase.
- v) The views of the previous consultation on Coldhams Lane conducted by Councillor Bourke would not be taken into account. This is a fresh consultation exercise.
- vi) Acknowledged members concerns about 'split' roads being more difficult to police. The police however form part of the Project Board and have confirmed that speed limits on 'split' roads will be enforced.
- vii) Speed cameras can only be used on roads where there have been fatal accidents.
- viii) When assessing consultation responses Officers can distinguish between those from 'inside and those from 'outside' the consultation area. It would be a lot more difficult, and time consuming, to distinguish between individual streets – but may be beneficial if the consultation results are particularly close.
- ix) Ditton Lane is a 'B' road and under current County Council policy would not be eligible for a 20mph zone.

Members supported the idea of including Ditton Lane in the consultation and the Project Delivery and Environment Manager agreed to discuss this further with the County Council. Councillor Blencowe also agreed to raise this through the Project Board.

Within the Consultation Questionnaire, Cherry Hinton Road is split into 2 sections. Members discussed options for splitting this road into different sections and separate votes were taken on each proposal:

Splitting the road into:

- 3 sections (proposed by Councillor Whitehead and seconded by Councillor Saunders): proposal **lost** by 4 votes to 8.
- 1 section (proposed by Councillor Kavanagh and seconded by Councillor Owers): proposal **lost** by 3 votes to 6.
- 2 different sections: Hills Road to Coleridge Road and then Coleridge Road until the end (proposed by Councillor Smart): proposal **lost** by 3 votes to 10.

It was therefore agreed that Cherry Hinton Road remain split into the 2 sections specified in the Officer's report.

Councillor Johnson suggested holding an additional Consultation Exhibition at East Barnwell Community Centre, but this was not supported by the committee.

**Resolved to:**

- i. Note the project programme, and previous approvals from Environment Scrutiny Committee, and to note the proposed consultation area, consultation method, and content for Phase 2;
- ii. Request that the Project Delivery and Environment Manager feedback their comments on the proposed consultation arrangements, as above, to the Executive Councillor for Planning and Climate change (Councillor Tim Ward).

The committee took a break at 9.10pm and returned at 9.20pm.

**14/8/EAC Progress Report by the Mill Road Coordinator**

The committee received a progress report from the Mill Road Coordinator.

Members thanked the Mill Road Coordinator for her hard work and the improvements that had been made. Thanks were also expressed to the Chair of the Mill Road Traders Association for attending the meeting.

In response to member's questions the Mill Road Coordinator and the Head of Tourism and City Centre Management confirmed the following:

- x) A capital grant of £5,000 was available to fund the Mill Road Information sign.
- xi) The Mill Road Traders Association has a current membership of 188 (1 representative from each individual business). This is a high percentage of the traders on Mill Road but a survey has been conducted to find out why the others have not joined. The findings will be reported back to members in due course.
- xii) The weekly email bulletins are sent to a mailing list of 195 people and opened by an average of 45% – which is a good return rate.

- xiii) As small businesses have many conflicting priorities, this may account for the very low number (1 to date) of applications for the forecourt improvements.
- xiv) The work being undertaken in Mill Road is part of a pilot that, if successful, could be rolled out to other areas in Cambridge with a high concentration of independent traders.
- xv) Plans for the Farmers Market events in 2014 are progressing and stall holder applications are being received. Acknowledge comments about the benefit of having a more regular timetable for these events but highlighted location as an issue.

Members agreed to forward any further comments regarding the Mill Road Information sign to the Mill Road Coordinator.

### **14/9/EAC Planning Applications**

#### **14/9a/EAC 13/1381/FUL - 27 Hills Road**

The committee received an application for full planning permission.

The application sought permission to convert the upper floors of the premises into 3 No independent habitable flats.

Barbara Bell (on behalf of Jenny Josselyn who was unable to attend the meeting) addressed the Committee and made the following points in objection to the application.

- i. A single street level door to access 3 flats would be dangerous for the public and occupants. There would be potential for a serious accident.
- ii. Urged the committee to reject the application.

**Resolved** (8 votes to 0 with 1 abstention) to grant the application for planning permission in accordance with the officer recommendation, for the reasons set out in the officer report, and subject to the conditions recommended by the officer.



**14/9b/EAC 13/1548/FUL - 128 Perne Road**

The committee received an application for full planning permission.

The application sought permission for change of use from a 8 bed Guest House to HMO for 7 occupiers.

**Resolved** (8 votes to 0 with 1 abstention) to grant the application for planning permission in accordance with the officer recommendation, for the reasons set out in the officer report, and subject to the conditions recommended by the officer and the following additional Condition:

*The building shall not be occupied as an HMO until a management plan for this use has been submitted to, and approved in writing by, the local planning authority.*

*Reason: To protect the residential amenity of nearby occupiers. (Cambridge Local Plan 2006 policy 3/4)*

**14/9c/EAC 13/1471/FUL - 72 Vinery Road**

The committee received an application for full planning permission.

The application sought permission for a three storey side extension, roof extension and first floor rear extension to existing building to create 3 additional flats

**Resolved** (by 7 votes to 0 with 2 abstentions) to grant the application for planning permission in accordance with the officer recommendation, for the reasons set out in the officer report, and subject to the conditions recommended by the officer.

The meeting ended at 10.25 pm

**CHAIR**



## COMMITTEE ACTION SHEET Agenda Item 4

<b>Committee</b>	<b>East Area Committee</b>
<b>Date</b>	<b>9 January 2014</b>
<b>Circulated on</b>	<b>15 January 2014</b>
<b>Updated on</b>	

<b>ACTION</b>	<b>LEAD OFFICER/ MEMBER</b>	<b>TIMESCALE</b>	<b>PROGRESS</b>
<p style="text-align: center;"><u>Open Forum: Engagement with young people</u></p> <p>In response to Mr Carpen's question, agreed to consider holding a future Area Committee meeting at Coleridge School.</p> <p>(did point out however that a commitment had already been made to hold all meetings at Cherry Trees Day Centre)</p>	Councillor Blencowe	Ongoing	
<p style="text-align: center;"><u>Open Forum: Engagement with young people</u></p> <p>In response to Mr Carpen's question (as above) Councillor Saunders asked Councillors if, instead of holding an Area Committee meeting at Coleridge School, they would be prepared to visit it for a Q&amp;A session.</p> <p>Councillors expressed support for this</p>	Councillor Saunders/ Committee Members	Ongoing	The Committee Manager has contacted the Principal and the school would be happy to arrange a suitable date.

<p><u>Open Forum: Norfolk Terrace Pavements</u></p> <p>Contact officers for a response regarding additional funding sources for paving slabs instead of asphalt – and feedback to local residents.</p>	<p>Councilor Walsh</p>	<p>When response received from officers</p>	
<p><u>Open Forum: Eastern Gate</u></p> <p>Keep Mr Lucus Smith informed as to the progress of the feasibility study</p>	<p>Councillor Blencowe</p>	<p>Ongoing</p>	
<p><u>20mph Project</u></p> <p>Raise at the Project Board the request from Councillor Hart that Ditton Lane be included in the consultation</p>	<p>Councillor Blencowe</p>	<p>ASAP</p>	
<p><u>20mph Project</u></p> <p>Raise with the County the request from Councillor Hart that Ditton Lane be included in the consultation</p>	<p>Andy Preston</p>	<p>ASAP</p>	
<p><u>Mill Road Update</u></p> <p>Respond individually to the Mill Road Coordinator with any further comments regarding the Mill Rd Information Sign</p>	<p>All Councillors</p>	<p>ASAP</p>	<p>Ongoing</p>

<p><u>Mill Road Update</u></p> <p>Forward results of the Traders Association survey to Councillors</p>	<p>Mill Road Coordinator</p>	<p>ASAP</p>	
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## CAMBRIDGE CITY COUNCIL Record of Executive Decision

### Improve Access to Abbey Paddling Pools from Coldham's Common

**Decision of:** East Area Committee: Chair, Vice Chair and Spokes

**Reference:** 14/S106/01

**Date of decision:** 22.01.14                      **Recorded on:** 22.01.14

**Decision Type:** Non Key

**Matter for Decision:** Design and installation of a path as shown in Appendix B of the officer's report for the sum of £25,000

**Why the decision had to be made (and any alternative options):** The project meets with the Council's main aims: Cambridge – where people matter. A city which celebrates its diversity, unites in its priority for the disadvantaged and strives for shared community wellbeing.

**Decision(s):**                      **Financial recommendations**

- Approved the commencement of this scheme, which is already included in the Council's Capital & Revenue Project Plan PR032b.
- The total cost of the project is £25,000 funded from developer contributions listed in Appendix B with 10% Officer Recharge at £2,500.
- The ongoing revenue costs of the project are £1,250 per year over 20 years funded from repairs and renewals.

**Procurement recommendations:**

- Approved the carrying out and completion of the procurement of improvements to the access path at Abbey Pool to the value of £25,000.
- Subject to:
  - The permission of the Director of Resources being sought prior to proceeding if the quotation or tender sum exceeds the estimated contract.
  - The permission from the East Area Committee Chair being sought before proceeding if the value exceeds the estimated contract by more than 15%.

**Reasons for the decision:**

As set out in the Officers Report

**Scrutiny consideration:**

Chair, Vice Chair and Spokes of East Committee were consulted

**Conflicts of interest:**

No conflicts of interest were declared by the Executive Councillor

**Comments:**

None









## Cambridge City Council

### **Project Appraisal and Area Committee Recommendation**

**Project Name:** Improve Access to Abbey Paddling Pools from Coldham's Common

(Area priority project under £75k)

**To:** Area Chair, Vice Chair and Opposition Spokes

**Area committee:** EAST

**Report by:** Adrian Ash

**Wards affected:** **Abbey**

### **Recommendation/s**

#### **Financial recommendations –**

- The East Area Committee Chair is asked to approve the commencement of this scheme, which is already included in the Council's Capital & Revenue Project Plan PR032b.
- The total cost of the project is £25,000 funded from developer contributions listed in Appendix B with 10% Officer Recharge at £2,500.
- The ongoing revenue costs of the project are £1,250 per year over 20 years funded from repairs and renewals.

## Procurement recommendations:

- The Area Committee Chair is asked to approve the carrying out and completion of the procurement of improvements to the access path at Abbey Pool to the value of £25,000.
- Subject to:
  - The permission of the Director of Resources being sought prior to proceeding if the quotation or tender sum exceeds the estimated contract.
  - The permission from the East Area Committee Chair being sought before proceeding if the value exceeds the estimated contract by more than 15%.

## 1 Summary

### 1.1 The project

Design and installation of a path as shown in Appendix B for the sum of £25,000

#### Target Dates:

Start of procurement	February 2014
Award of Contract	February 2014
Start of project delivery	May 2014
Completion of project	June 2014
Date that project output is expected to become operational (if not same as above)	n/a

## 1.2 Anticipated Cost

Total Project Cost	£ 25,000
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Cost Funded from:

Funding:	Amount:	Details:
Reserves	£	n/a
Repairs & Renewals	£	n/a
Developer Contributions	£ 25,000	See Appendix B
Climate Change Fund	£	n/a
Other	£	n/a

## 1.3 Procurement process

Request For Quotes from local contractors to carry out the works.

## 2 Project Appraisal & Procurement Report

### 2.1 Project Background

This project has been requested by local residents who have argued that those with children's buggies and prams struggle to gain access to the play area at Abbey Pool from the west side of the Common via a natural trail particularly in muddy conditions (see Appendix C for location of path). At the same time the existing gate along the route is in need of an overhaul and a re-design to facilitate the intended user groups, which this project would also include in its scope.

## **2.2 Aims & objectives**

Part of the council's vision and medium term objectives is one of attractive neighbourhoods and green spaces with good access to leisure and community facilities in order ensure residents and other service users maintain a healthy, safe and enjoyable life-style. The proposed improvements to the Coldham's Common path is intended to increase access for those who would not necessarily venture from the west of the Common along a narrow natural trail particularly when conditions are muddy and wet. Upgrading the surface will facilitate greater access to the new play area facilities, especially for mothers and children with prams and buggies.

## **2.3 Major issues for stakeholders & other departments**

The main issue with this project will be the impact on Coldham's Common as a rural open space with the introduction of a reinforced path along a natural trail. However this will be mitigated by the use of soft materials (for example either Breedon Gravel or Carr stone) and timber edging as used successfully on other open spaces in the city, for example at Cherry Hinton Hall.

### **Consultation to be undertaken:**

- Local residents.
- Members.
- Statutory Processes, i.e. Commons Act 2006: Section 38.

## **2.4 Summaries key risks associated with the project**

Currently the council is looking at a range of options for managing the common and asking the local residents and site users what they think with a consultation, the results of which should be available in March. The views expressed in this report may run counter to the rationale for this project.

## 2.5 Financial implications

Appraisal prepared on the following price base: see Appendix B

## 2.6 Net revenue implications (costs or savings)

(see also Appendix A for spread across financial years)

Revenue	£	Comments
Maintenance		
R&R Contribution		
Developer Contributions	25,000	See Appendix B
Energy savings	( )	See below
Income / Savings	( )	
<b>Net Revenue effect</b>	0	Cost/(Saving)

## 2.7 VAT implications

n/a

## 2.8 Energy and Fuel Savings

n/a

## 2.9 Climate Change Impact

Positive Impact			No effect	Negative Impact		
+H	+M	+L	Nil	-L	-M	-H

There are no anthropogenic factors to cause an increase in CO<sub>2</sub> levels due to emissions from fossil fuel combustion, followed by aerosols (particulate matter in the atmosphere) and the

CO<sub>2</sub> released by cement manufacture, and methane from animal agriculture and deforestation is not determined.

## 2.10 Other implications

An Equality Impact Assessment (EqIA) has been prepared for this project and particularly highlighted the benefits to the disability group and pregnancy and maternity group in terms of access to the newly planned outdoor facilities at Abbey Pool.

## 2.11 Staff required to deliver the project

<b>Service</b>	<b>Skills</b>	<b>Total Hours</b>
Streets & OS - Assets	<i>Technical Design</i>	20
Streets & OS - Projects	<i>Clerk of Works</i>	40

## 2.12 Dependency on other work or projects

None

## 2.13 Background Papers

None

## 2.14 Inspection of papers

Author's Name	Declan O'Halloran
---------------	-------------------

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Date prepared:	17 December 2013

Capital Project Appraisal - Capital costs & funding - Profiling

**Appendix A**

	2013/14	2014/15	2015/16	2016/17	2017/18	Comments
	£	£	£	£	£	
<b>Capital Costs</b>						
Building contractor / works						
Purchase of vehicles, plant & equipment						
Professional / Consultants (Officer Recharge) fees						
Other capital expenditure:						
<i>insert rows as needed</i>						
<b>Total Capital cost</b>	<b>25,000</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	
<b>Capital Income / Funding</b>						
Government Grant						
Developer Contributions	25,000					(See Appendix B)
R&R funding						(State cost centre/s)
Earmarked Funds						(State cost centre/s)
Existing capital programme funding						(Programme ref.)
Revenue contributions						(State cost centre/s)
<b>Total Income</b>	<b>25,000</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	
<b>Net Capital Bid</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	Must agree to 1.2 above



## Appendix B

### PROPOSED ALLOCATION OF DEVELOPER CONTRIBUTIONS

It is proposed to fund the access improvements to Abbey Pool play area from Coldham's Common with up to £25,000 from devolved 'informal open spaces' developer contributions. This is £15,000 more than was originally identified at the first round priority-setting stage in November 2012, but this is affordable from the devolved developer contributions available to the East Area.

The specific contributions allocated to this project are set out below. If, in due course, it transpires that there are other specific and appropriate contributions that need to be used instead, these arrangements may be revised.

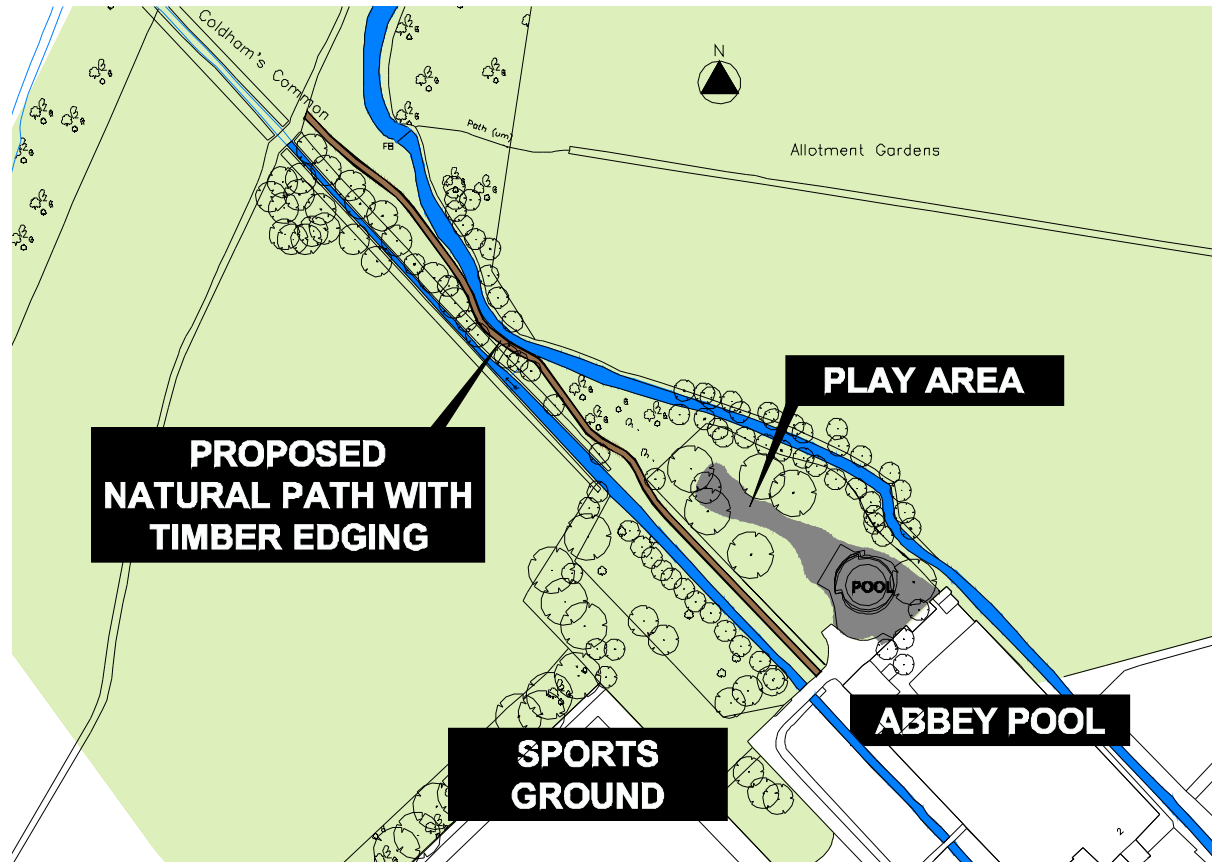
<b>INFORMAL OPEN SPACE CONTRIBUTIONS</b>			
<b>Planning ref.</b>	<b>From (Ward)</b>	<b>From development at:</b>	<b>£ Available</b>
00/0700/FP	PET	Land adjacent to 17 Collier Road	£3,373.00
01/1148/FP	ROM	49 Suez Road	£362.00
01/1324/FP	PET	Land to rear of 48-72 Ainsworth Street	£2,179.50
02/1132/FP	ABB	Sea Cadet Corps, Riverside	£6,236.50

02/1152/FP	ROM	Land to rear of 2 Natal Road	£753.00
05/0993/OUT	ROM	87 Cromwell Road	£2,070.00
08/0348/FUL	ROM	31 Brookfields	£629.00
02/0142/FP	PET	Land adjacent to Ivy Villa, Stone Street	£5,184.00
02/0239/FP	PET	39 Hills Road	£2,160.00
02/0661/FP	ROM	96A-100 Cavendish Road	£2053

Of these contributions, two (£2,700 combined) have expiry dates for the funding to be contractually committed by November 2015. The project is due to be completed in spring 2014, so this is not an issue.

## Appendix C

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*Proposed Access Path Improvements to Abbey Pool*



## Project Appraisal

<b>To</b>	East Area Committee
<b>Report By</b>	Trevor Woollams
<b>Project Name</b>	Ross Street Community Centre Improvements
<b>Committee</b>	East Area Committee
<b>Committee Date</b>	20 February 2014
<b>Wards Affected</b>	Romsey

## Project Appraisal and Recommendation

### Recommendations

#### Financial recommendations -

- a) To agree, subject to confirmation of funding from the County Council, tender, relevant planning and building regulation approval, the project to improve Ross Street Community Centre by increasing space for childcare provision and adding a new kitchenette, toilets and storage.

## 1 Summary

### 1.1 The project

The project involves internal improvements to the centre to enable more flexible use of the existing meeting rooms plus a small extension to increase the amount of childcare provision.

The County Council has agreed in principle to fund up to 50% of the capital works on the understanding that it will deliver the increased childcare provision.

Target Dates:	
Start of Procurement	April 2014
Award of Contract	June 2014
Start of project delivery	August 2014
Completion of construction	November 2014
Childcare provider starts	January 2015

## 1.2 The Cost

Total Project Cost	£140,000
--------------------	----------

Capital Cost Funded from:

Funding:	Amount:	Details:
Reserves	£	
Repairs & Renewals	£	
Developer Contributions	£70,000	<i>From East Area Committee developer contributions programme</i>
Climate Change Fund		
Other	£70,000	<i>From the County Council</i>

Revenue Cost

Year 1	0
Ongoing	0

## 1.3 The Procurement

The works will be procured and project managed by City Council officers

## 2 Capital Project Appraisal & Procurement Report

### 2.1 What is the project?

The project is to improve the side entrance to the centre to provide an additional kitchenette, storage and fully accessible toilet. This will provide greater flexibility of use of the existing meeting rooms.

In addition, the project includes a small side extension and internal alterations to increase the amount of dedicated childcare space to an optimum size (to take 24 children) which will help to meet the high demand in the local area and increase income for the centre (which will reduce the net cost to the Council).

Officers are working with the County Council and will seek to tender the childcare space to an approved operator. In return, the County Council has indicated that it will provide up to 50% of the capital funding of the project (up to a maximum of £70,000).

## **2.2 The major issues for stakeholders & other departments**

This project will significantly improve the flexibility of the centre which will benefit local groups and increase use.

The additional childcare provision will help to meet a high local demand.

## **2.3 Summarise key risks associated with the project**

The project will be subject to the award of planning permission, securing the financial contribution from the County Council and a successful procurement process for the building works.

Childcare provision at the centre will be tendered, with the support of County officers, to ensure a high quality provider and maximum use.

## **2.4 Financial implications**

- a) Appraisal prepared on the following price base: 2013/14
- b) The Capital allocation from the County Council will need to be secured prior to entering into any building contract.
- c) There will be a slight increase in revenue costs (heating, lighting, cleaning etc.) for the Council which will be more than compensated by increased income from the centre.
- d) Officers have allocated £70,000 of developer contributions to this project that are already assigned to the Area Committee Developer Contributions programme (in line with the agreed approach to devolved and city-wide contributions). If, in due course, it transpires that there are other specific and appropriate contributions that need to be used instead, these arrangements may be revised.

## **2.5 Capital & Revenue costs**

<b>(a) Capital</b>	<b>£</b>	<b>Comments</b>
--------------------	----------	-----------------

Building contractor / works	125,000	Estimated costs (not yet tendered)
Purchase of vehicles, plant & equipment		
Professional / Consultants fees	£15,000	
IT Hardware/Software		
Other capital expenditure		
<b>Total Capital Cost</b>	<b>140,000</b>	

<b>(b) Revenue</b>	<b>£</b>	<b>Comments</b>
<b>Total Revenue Cost</b>	0	

## 2.6 VAT implications

This project will incur up to £28,000 of exempt input tax which will need to be included within the Council's Partial Exemption calculation. However, the Accountant (VAT & Treasury) has projected, on the information currently available within the Capital Plan, that this can be contained through careful monitoring. Should items change in this respect though, the Council may be required to 'opt to tax' these premises, to safeguard its 5% Partial Exemption limit.

## 2.7 Environmental Implications

Climate Change Impact	-L
-----------------------	----

It is estimated that the overall project will have a low but negative environmental impact as the footprint will increase slightly. The building design will ensure that the environmental impact will be minimized.

## 2.8 Other implications

An EQIA has been carried out and no adverse impact was identified. The improvements will increase the accessibility of the centre for all users and help to meet local need for childcare which will increase its use by young children.

The project timetable aims to have a childcare provider in place in January 2015.



Existing users will need to be accommodated whilst the works are in progress.

## **2.9 Staff required to deliver the project**

The building project will be tendered and monitored by staff in Community Development and Arts and Recreation's Technical team.

## **2.10 Identify any dependencies upon other work or projects**

None

## **2.11 Background Papers**

Report to East Area Committee on S106 developer contributions potential projects – 28 November 2013

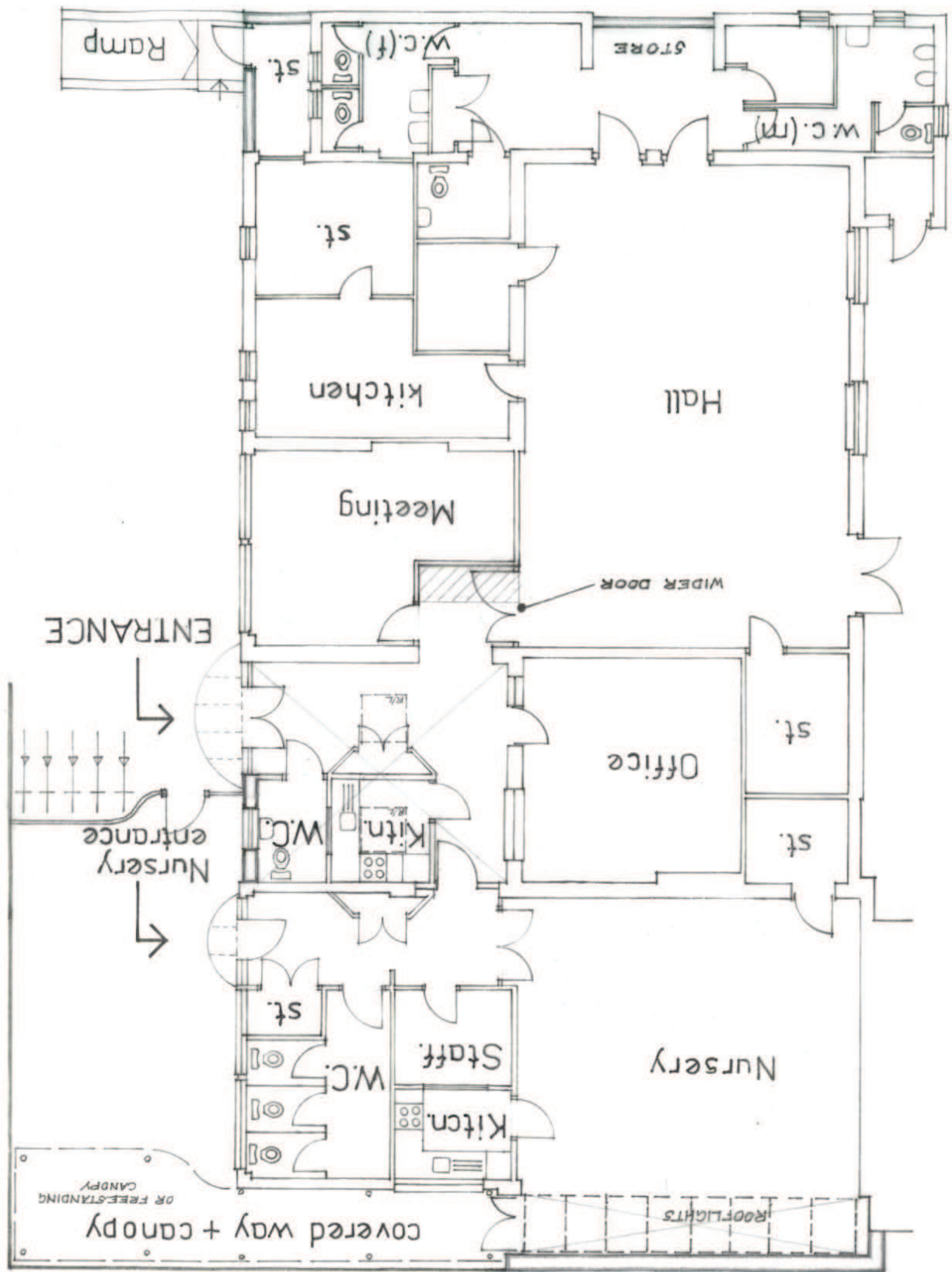
## **2.12 Inspection of papers**

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Date prepared:	30.01.2014

## Appendix A

	2012/13	2013/14	2014/15	Comments
	£	£	£	
<b>Capital Costs</b>				
Building contractor / works			125,000	Estimate
Purchase of vehicles, plant & equipment				
Professional / Consultants fees			15,000	
Other capital expenditure:				
<b>Total Capital cost</b>			<b>140,000</b>	
<b>Capital Income / Funding</b>				
Government grant				
Developer contributions			70,000	East Area Committee Community Facilities budget
County Council			70,000	Childcare provision
R&R funding				
Earmarked funds				
Existing capital programme funding				
Revenue contributions				
<b>Total Income</b>			<b>140,000</b>	
<b>New Capital Bid</b>	<b>0</b>	<b>0</b>	<b>0</b>	

Appendix B Ross Street Community Centre Improvements.



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## **APPENDIX 1 – DEVELOPMENT PLAN POLICY, PLANNING GUIDANCE AND MATERIAL CONSIDERATIONS**

### **1.0 Central Government Advice**

**1.1 National Planning Policy Framework (March 2012)** – sets out the Government’s economic, environmental and social planning policies for England. These policies articulate the Government’s vision of sustainable development, which should be interpreted and applied locally to meet local aspirations.

**1.2 Circular 11/95 – The Use of Conditions in Planning Permissions:** Advises that conditions should be necessary, relevant to planning, relevant to the development permitted, enforceable, precise and reasonable in all other respects.

**1.3 Community Infrastructure Levy Regulations 2010** – places a statutory requirement on the local authority that where planning permission is dependent upon a planning obligation the obligation must pass the following tests:

(a) necessary to make the development acceptable in planning terms;

(b) directly related to the development; and

(c) fairly and reasonably related in scale and kind to the development.

### **2.0 Cambridgeshire and Peterborough Structure Plan 2003**

Planning Obligation Related Policies

P6/1 Development-related Provision

P9/8 Infrastructure Provision

P9/9 Cambridge Sub-Region Transport Strategy

### **3.0 Cambridge Local Plan 2006**

3/1 Sustainable development

3/3 Setting of the City

3/4 Responding to context

3/6 Ensuring coordinated development

3/7 Creating successful places

3/9 Watercourses and other bodies of water

3/10 Subdivision of existing plots

3/11 The design of external spaces

3/12 The design of new buildings

3/13 Tall buildings and the skyline

3/14 Extending buildings

3/15 Shopfronts and signage

- 4/1 Green Belt
- 4/2 Protection of open space
- 4/3 Safeguarding features of amenity or nature conservation value
- 4/4 Trees
- 4/6 Protection of sites of local nature conservation importance
- 4/8 Local Biodiversity Action Plans
- 4/9 Scheduled Ancient Monuments/Archaeological Areas
- 4/10 Listed Buildings
- 4/11 Conservation Areas
- 4/12 Buildings of Local Interest
- 4/13 Pollution and amenity
- 4/14 Air Quality Management Areas
- 4/15 Lighting

- 5/1 Housing provision
- 5/2 Conversion of large properties
- 5/3 Housing lost to other uses
- 5/4 Loss of housing
- 5/5 Meeting housing needs
- 5/7 Supported housing/Housing in multiple occupation
- 5/8 Travellers
- 5/9 Housing for people with disabilities
- 5/10 Dwelling mix
- 5/11 Protection of community facilities
- 5/12 New community facilities
- 5/15 Addenbrookes

- 6/1 Protection of leisure facilities
- 6/2 New leisure facilities
- 6/3 Tourist accommodation
- 6/4 Visitor attractions
- 6/6 Change of use in the City Centre
- 6/7 Shopping development and change of use in the District and Local Centres
- 6/8 Convenience shopping
- 6/9 Retail warehouses
- 6/10 Food and drink outlets.

- 7/1 Employment provision
- 7/2 Selective management of the Economy
- 7/3 Protection of Industrial and Storage Space
- 7/4 Promotion of cluster development
- 7/5 Faculty development in the Central Area, University of Cambridge
- 7/6 West Cambridge, South of Madingley Road
- 7/7 College and University of Cambridge Staff and Student Housing
- 7/8 Anglia Ruskin University East Road Campus
- 7/9 Student hostels for Anglia Ruskin University
- 7/10 Speculative Student Hostel Accommodation
- 7/11 Language Schools

8/1 Spatial location of development  
8/2 Transport impact  
8/4 Walking and Cycling accessibility  
8/6 Cycle parking  
8/8 Land for Public Transport  
8/9 Commercial vehicles and servicing  
8/10 Off-street car parking  
8/11 New roads  
8/12 Cambridge Airport  
8/13 Cambridge Airport Safety Zone  
8/14 Telecommunications development  
8/15 Mullard Radio Astronomy Observatory, Lords Bridge  
8/16 Renewable energy in major new developments  
8/17 Renewable energy  
8/18 Water, sewerage and drainage infrastructure

9/1 Further policy guidance for the Development of Areas of Major Change  
9/2 Phasing of Areas of Major Change  
9/3 Development in Urban Extensions  
9/5 Southern Fringe  
9/6 Northern Fringe  
9/7 Land between Madingley Road and Huntingdon Road  
9/8 Land between Huntingdon Road and Histon Road  
9/9 Station Area

10/1 Infrastructure improvements

Planning Obligation Related Policies

3/7 Creating successful places  
3/8 Open space and recreation provision through new development  
3/12 The Design of New Buildings (*waste and recycling*)  
4/2 Protection of open space  
5/13 Community facilities in Areas of Major Change  
5/14 Provision of community facilities through new development  
6/2 New leisure facilities  
8/3 Mitigating measures (*transport*)  
8/5 Pedestrian and cycle network  
8/7 Public transport accessibility  
9/2 Phasing of Areas of Major Change  
9/3 Development in Urban Extensions  
9/5 Southern Fringe  
9/6 Northern Fringe  
9/8 Land between Huntingdon Road and Histon Road  
9/9 Station Area  
10/1 Infrastructure improvements (*transport, public open space, recreational and community facilities, waste recycling, public realm, public art, environmental aspects*)

#### 4.0 **Supplementary Planning Documents**

- 4.1 **Cambridge City Council (May 2007) – Sustainable Design and Construction:** Sets out essential and recommended design considerations of relevance to sustainable design and construction. Applicants for major developments are required to submit a sustainability checklist along with a corresponding sustainability statement that should set out information indicated in the checklist. Essential design considerations relate directly to specific policies in the Cambridge Local Plan 2006. Recommended considerations are ones that the council would like to see in major developments. Essential design considerations are urban design, transport, movement and accessibility, sustainable drainage (urban extensions), energy, recycling and waste facilities, biodiversity and pollution. Recommended design considerations are climate change adaptation, water, materials and construction waste and historic environment.
- 4.2 **Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document (February 2012):** The Design Guide provides advice on the requirements for internal and external waste storage, collection and recycling in new residential and commercial developments. It provides advice on assessing planning applications and developer contributions.
- 4.3 **Cambridge City Council (January 2008) - Affordable Housing:** Gives advice on what is involved in providing affordable housing in Cambridge. Its objectives are to facilitate the delivery of affordable housing to meet housing needs and to assist the creation and maintenance of sustainable, inclusive and mixed communities.
- 4.4 **Cambridge City Council (March 2010) – Planning Obligation Strategy:** provides a framework for securing the provision of new and/or improvements to existing infrastructure generated by the demands of new development. It also seeks to mitigate the adverse impacts of development and addresses the needs identified to accommodate the projected growth of Cambridge. The SPD addresses issues including transport, open space and recreation, education and life-long learning, community facilities, waste and other potential development-specific requirements.
- 4.5 **Cambridge City Council (January 2010) - Public Art:** This SPD aims to guide the City Council in creating and providing public art in Cambridge by setting out clear objectives on public art, a clarification of policies, and the means of implementation. It covers public art delivered through the planning process, principally Section 106 Agreements (S106), the commissioning of public art using the S106 Public Art Initiative, and outlines public art policy guidance.
- 4.6 **Old Press/Mill Lane Supplementary Planning Document (January 2010)** Guidance on the redevelopment of the Old Press/Mill Lane site.



## **Eastern Gate Supplementary Planning Document (October 2011)**

Guidance on the redevelopment of the Eastern Gate site. The purpose of this development framework (SPD) is threefold:

- To articulate a clear vision about the future of the Eastern Gate area;
- To establish a development framework to co-ordinate redevelopment within the area and guide decisions (by the Council and others); and
- To identify a series of key projects, to attract and guide investment (by the Council and others) within the area.

### **5.0 Material Considerations**

#### **Central Government Guidance**

#### **5.1 Letter from Secretary of State for Communities and Local Government (27 May 2010)**

The coalition government is committed to rapidly abolish Regional Strategies and return decision making powers on housing and planning to local councils. Decisions on housing supply (including the provision of travellers sites) will rest with Local Planning Authorities without the framework of regional numbers and plans.

#### **5.2 Written Ministerial Statement: Planning for Growth (23 March 2011)**

Includes the following statement:

When deciding whether to grant planning permission, local planning authorities should support enterprise and facilitate housing, economic and other forms of sustainable development. Where relevant and consistent with their statutory obligations they should therefore:

- (i) consider fully the importance of national planning policies aimed at fostering economic growth and employment, given the need to ensure a return to robust growth after the recent recession;
- (ii) take into account the need to maintain a flexible and responsive supply of land for key sectors, including housing;
- (iii) consider the range of likely economic, environmental and social benefits of proposals; including long term or indirect benefits such as increased consumer choice, more viable communities and more robust local economies (which may, where relevant, include matters such as job creation and business productivity);
- (iv) be sensitive to the fact that local economies are subject to change and so take a positive approach to development where new economic data suggest that prior assessments of needs are no longer up-to-date;

(v) ensure that they do not impose unnecessary burdens on development.

In determining planning applications, local planning authorities are obliged to have regard to all relevant considerations. They should ensure that they give appropriate weight to the need to support economic recovery, that applications that secure sustainable growth are treated favourably (consistent with policy in PPS4), and that they can give clear reasons for their decisions.

### 5.3 City Wide Guidance

**Arboricultural Strategy (2004)** - City-wide arboricultural strategy.

**Biodiversity Checklist for Land Use Planners in Cambridgeshire and Peterborough (March 2001)** - This document aims to aid strategic and development control planners when considering biodiversity in both policy development and dealing with planning proposals.

**Cambridge Landscape and Character Assessment (2003)** – An analysis of the landscape and character of Cambridge.

**Cambridge City Nature Conservation Strategy (2006)** – Guidance on habitats should be conserved and enhanced, how this should be carried out and how this relates to Biodiversity Action Plans.

**Criteria for the Designation of Wildlife Sites (2005)** – Sets out the criteria for the designation of Wildlife Sites.

**Cambridge City Wildlife Sites Register (2005)** – Details of the City and County Wildlife Sites.

**Cambridge and South Cambridgeshire Strategic Flood Risk Assessment (November 2010)** - a tool for planning authorities to identify and evaluate the extent and nature of flood risk in their area and its implications for land use planning.

**Strategic Flood Risk Assessment (2005)** – Study assessing the risk of flooding in Cambridge.

**Cambridge and Milton Surface Water Management Plan (2011)** – A SWMP outlines the preferred long term strategy for the management of surface water. Alongside the SFRA they are the starting point for local flood risk management.

**Cambridge City Council (2011) - Open Space and Recreation Strategy:** Gives guidance on the provision of open space and recreation facilities through development. It sets out to ensure that open space in Cambridge meets the needs of all who live, work, study in or visit the city and provides a satisfactory environment for nature and enhances the local townscape, complementing the built environment.

The strategy:

- sets out the protection of existing open spaces;
- promotes the improvement of and creation of new facilities on existing open spaces;
- sets out the standards for open space and sports provision in and through new development;
- supports the implementation of Section 106 monies and future Community Infrastructure Levy monies

As this strategy suggests new standards, the Cambridge Local Plan 2006 standards will stand as the adopted standards for the time-being. However, the strategy's new standards will form part of the evidence base for the review of the Local Plan

**Balanced and Mixed Communities – A Good Practice Guide (2006) –** Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

**Green Infrastructure Strategy for the Cambridgeshire Sub-Region (2006)** - Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change and as a material consideration in the determination of planning applications and appeals.

**A Major Sports Facilities Strategy for the Cambridge Sub-Region (2006) -** Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

**Cambridge Sub-Region Culture and Arts Strategy (2006) -** Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

**Cambridgeshire Quality Charter for Growth (2008) –** Sets out the core principles of the level of quality to be expected in new developments in the Cambridge Sub-Region

**Cambridge City Council - Guidance for the application of Policy 3/13 (Tall Buildings and the Skyline) of the Cambridge Local Plan (2006) (2012) -** sets out in more detail how existing council policy can be applied to proposals for tall buildings or those of significant massing in the city.

**Cambridge Walking and Cycling Strategy (2002) –** A walking and cycling strategy for Cambridge.

**Protection and Funding of Routes for the Future Expansion of the City Cycle Network (2004) –** Guidance on how development can help achieve the implementation of the cycle network.

**Cambridgeshire Design Guide For Streets and Public Realm (2007):** The purpose of the Design Guide is to set out the key principles and aspirations that should underpin the detailed discussions about the design of streets and public spaces that will be taking place on a site-by-site basis.

**Cycle Parking Guide for New Residential Developments (2010) –** Gives guidance on the nature and layout of cycle parking, and other security measures, to be provided as a consequence of new residential development.

**Air Quality in Cambridge – Developers Guide (2008) -** Provides information on the way in which air quality and air pollution issues will be dealt with through the development control system in Cambridge City. It compliments the Sustainable Design and Construction Supplementary Planning Document.

**The Cambridge Shopfront Design Guide (1997) –** Guidance on new shopfronts.

**Roof Extensions Design Guide (2003) –** Guidance on roof extensions.

**Modelling the Costs of Affordable Housing (2006) –** Toolkit to enable negotiations on affordable housing provision through planning proposals.

## 5.6 Area Guidelines

**Cambridge City Council (2003)–Northern Corridor Area Transport Plan:  
Cambridge City Council (2002)–Southern Corridor Area Transport Plan:  
Cambridge City Council (2002)–Eastern Corridor Area Transport Plan:  
Cambridge City Council (2003)–Western Corridor Area Transport Plan:**  
The purpose of the Plan is to identify new transport infrastructure and service provision that is needed to facilitate large-scale development and to identify a fair and robust means of calculating how individual development sites in the area should contribute towards a fulfilment of that transport infrastructure.

**Buildings of Local Interest (2005) –** A schedule of buildings of local interest and associated guidance.

**Brooklands Avenue Conservation Area Appraisal (2002)  
Cambridge Historic Core Conservation Area Appraisal (2006)  
Storeys Way Conservation Area Appraisal (2008)  
Chesterton and Ferry Lane Conservation Area Appraisal (2009)  
Conduit Head Road Conservation Area Appraisal (2009)  
De Freville Conservation Area Appraisal (2009)  
Kite Area Conservation Area Appraisal (1996)  
Newnham Croft Conservation Area Appraisal (1999)  
Southacre Conservation Area Appraisal (2000)  
Trumpington Conservation Area Appraisal (2010)  
Mill Road Area Conservation Area Appraisal (2011)**

### **West Cambridge Conservation Area Appraisal (2011)**

Guidance relating to development and the Conservation Area including a review of the boundaries.

### **Jesus Green Conservation Plan (1998)**

### **Parkers Piece Conservation Plan (2001)**

### **Sheeps Green/Coe Fen Conservation Plan (2001)**

### **Christs Pieces/New Square Conservation Plan (2001)**

Historic open space guidance.

### **Hills Road Suburbs and Approaches Study (March 2012)**

### **Long Road Suburbs and Approaches Study (March 2012)**

### **Barton Road Suburbs and Approaches Study (March 2009)**

### **Huntingdon Road Suburbs and Approaches Study (March 2009)**

### **Madingley Road Suburbs and Approaches Study (March 2009)**

### **Newmarket Road Suburbs and Approaches Study (October 2011)**

Provide assessments of local distinctiveness which can be used as a basis when considering planning proposals

**Station Area Development Framework (2004)** – Sets out a vision and Planning Framework for the development of a high density mixed use area including new transport interchange and includes the **Station Area Conservation Appraisal**.

**Southern Fringe Area Development Framework (2006)** – Guidance which will help to direct the future planning of development in the Southern Fringe.

**West Cambridge Masterplan Design Guidelines and Legal Agreement (1999)** – Sets out how the West Cambridge site should be developed.

**Mitcham's Corner Area Strategic Planning and Development Brief (2003)** – Guidance on the development and improvement of Mitcham's Corner.

**Mill Road Development Brief (Robert Sayle Warehouse and Co-Op site) (2007)** – Development Brief for Proposals Site 7.12 in the Cambridge Local Plan (2006)

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<b>Application Number</b>	13/1465/FUL	Agenda Item	
<b>Date Received</b>	10th October 2013	<b>Officer</b>	Mr Amit Patel
<b>Target Date</b>	5th December 2013		
<b>Ward</b>	Petersfield		
<b>Site</b>	6 Hooper Street Cambridge CB1 2NZ		
<b>Proposal</b>	Erection of one 2 x bed dwelling, and conversion of No.6 Hooper Street into two 2 x bed flats together with cycle parking and associated hard and soft landscaping (following the demolition of the existing garage building present on site and part of the single store rear addition to No.6)		
<b>Applicant</b>	c/o Agent		

SUMMARY	<p>The development accords with the Development Plan for the following reasons:</p> <p>Responds positively to the context</p> <p>The scale is smaller than the current building</p> <p>No unacceptable overlooking would be created</p>
RECOMMENDATION	APPROVAL

**1.0 SITE DESCRIPTION/AREA CONTEXT**

- 1.1 The application site is an irregular shaped parcel of land that comprises a mix of residential and light industrial uses; the site frontage has an end of terrace two-storey dwelling, while to the rear at the northern end of the plot is an industrial unit, part of which is of two storey height, part single storey, that has been previously utilised as a car repair workshop.
  
- 1.2 The area is more generally characterised by narrow streets, tightly enclosed by 2-storey buildings, predominantly terraced late Victorian dwellings. To the east of the site are the terraced properties, 7 and 8 Hooper Street and their associated rear

garden areas. To the west and of a slightly different character, with a rather more open feel are two larger buildings, that have been converted into flats, the nearest being 5 Hooper Street. To the north of the commercial building on the site is a small relatively low-key range of business units. To the south across the road is further terraced residential development running south along Kingston Street. There are trees in the rear gardens of properties adjacent properties, which are important to the site and immediate area.

- 1.3 The site lies within City of Cambridge Conservation Area No. 1 (Central). There is a significant tree located to the rear of numbers 6, 7, and 8 Hooper Street and houses on Sturton Street, which is visually important within the area to the rear of the Hooper Street dwellings. The tree is protected by its location within the Conservation Area.
- 1.4 There is a high demand for on-street parking in the vicinity of the application site, with a small number of formal on-street spaces. The access to the side of number 6 Hooper Street has been utilised for car parking. The site is also located within the Controlled Parking Zone.

## **2.0 THE PROPOSAL**

- 2.1 This application follows the dismissal of the appeal against refusal of the earlier application 11/0441/FUL. The present application still proposes the subdivision of the existing property to form two flats, and the erection of a new 2 bedroom dwelling at the rear of the site.
- 2.2 By comparison with the refused scheme, the current proposal reduces the scale and mass of the building and uses a design more conventional than the earlier mono-pitched design. This proposal still seeks to introduce modern materials to the elevation with a green screen and timber.
- 2.3 The dwelling proposed to the rear of the existing property is to have a flat-roof, two-storey element approximately 5.6m high, with a single storey flat roofed element to the east of the main part of the building, which will have a maximum height of approximately 3 metres. The submitted scheme is now 66% of the existing foot print and 71% of the existing building volume. The main two-storey element of the proposed dwelling with



have a pitched roof and the single storey element will have a flat roof. There are no windows to the north and east elevations. The main fenestration is located on the southern elevation, which faces the rear of properties on Hooper Street but there are no windows that look directly at these properties at first floor. The building is proposed to be constructed in brick/block with lime mortar to allow future re-use of bricks. Some of the brickwork will then be timber clad.

- 2.4 It is proposed that the ground floor flat, and the proposed dwelling will each have small private garden areas (about 15sq.m. and 57 sq.m. respectively). Cycle storage is proposed in the private garden area of the new dwelling. There is no vehicular parking proposed. Refuse storage for the flats will be under the new stairway; that for the house in the small garden.
- 2.5 The application is accompanied by the following supporting information:
1. Design and Access Statement
  2. Day light Study
  3. Phase 1 and 2 Geo Environmental Site Assessment
  4. Schedule of Trees
  5. Structural Engineers Report

### 3.0 SITE HISTORY

Reference	Description	Outcome
07/0182/FUL	Conversion of existing dwelling house to 2 flats. Change of use of remaining site from car repair workshop to residential (demolition of workshop and erection of new block of 4 flats).	REF
07/0184/CAC	Demolition of car repair workshop.	W/D
08/1464/CAC	Demolition of workshop	A/C
08/1465/FUL	Subdivision of existing house to 2 flats and erection of a house (following demolition of existing workshop).	W/D
11/0441/FUL	Conversion of house to flats and demolition of workshop and replacement by one house.	Refused – Appeal Dismissed

3.1 The decision notice for the previously refused application 11/0441/FUL is attached to this report as Appendix 1.

3.2 The decision of the Planning Inspector in the appeal on the previous application 11/0441/FUL is attached to this report as Appendix 2.

**4.0 PUBLICITY**

4.1 Advertisement: Yes  
 Adjoining Owners: Yes  
 Site Notice Displayed: Yes  
 DC Forum (meeting of 11<sup>th</sup> December 2013): Yes

The minutes of the public meeting/DC Forum are attached to this report as Appendix 3.

**5.0 POLICY**

5.1 See Appendix 4 for full details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

5.2 Relevant Development Plan policies

PLAN		POLICY NUMBER
Cambridge Plan 2006	Local	3/1 3/4 3/7 3/10 3/11 3/12 3/14 4/4 4/11 5/1 5/5 8/1 8/6 8/10 10/1

### 5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

<p>Central Government Guidance</p>	<p>National Planning Policy Framework March 2012</p> <p>Circular 11/95</p> <p>Community Infrastructure Levy Regulations 2010</p>
<p>Supplementary Planning Documents</p>	<p>Sustainable Design and Construction</p>
<p>Material Considerations</p>	<p><u>Central Government:</u></p> <p>Letter from Secretary of State for Communities and Local Government (27 May 2010)</p> <p>Written Ministerial Statement: Planning for Growth (23 March 2011)</p> <p>National Planning Practice Consultation</p>
	<p><u>Citywide:</u></p> <p>Open Space and Recreation Strategy</p> <p>Balanced and Mixed Communities – A Good Practice Guide</p> <p>Cycle Parking Guide for New Residential Developments</p>
	<p><u>Area Guidelines:</u></p> <p>Conservation Area Appraisal:</p> <p>Mill Road Area</p>

## 5.4 Status of Proposed Submission – Cambridge Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For Cambridge, therefore, the emerging revised Local Plan as published for consultation on 19 July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

For the application considered in this report, the following policies in the emerging Local Plan are of relevance:

Policy 33, 34, 35, 36, 50, 52, 53, 55, 56, 57, 58, 59, 61, 68, 71, 81, 82.

## 6.0 CONSULTATIONS

### **Cambridgeshire County Council (Highways Development Management)**

- 6.1 The future residents will not qualify for on street parking in the surrounding area except visitors parking permits.

### **Head of Refuse and Environment**

The proposal is acceptable subject to the conditions relating to construction hours, delivery hours, dust, waste and contamination. Informative requested relating to dust.

### **Urban Design and Conservation Team**

The application relates to an unlisted building in the Mill Road part of the Central Conservation Area. The Conservation Area Appraisal highlights the frontage building as a Positive Feature and the workshop to the rear as neutral.

There is confusion regarding the window in the side extension serving the stairs. The window appears to unbalance the facade

and should be smaller. The new dwelling is acceptable as it is smaller in size and scale to the main frontage building and the use of materials is also acceptable as it will appear to be an outbuilding rather than competing with the frontage building.

The proposal is acceptable subject to condition relating to materials and will not have a detrimental impact on the character or interest of the Conservation Area.

### **Head of Streets and Open Spaces (Tree Team)**

The potential loss of the cherry tree is regrettable but the more prominent tree in the front garden of the adjacent property can be retained. There is no objection to the proposal subject to conditions relating to a phased Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP) to be submitted and implemented throughout the development.

The above responses are a summary of the comments that have been received. Full details of the consultation responses can be inspected on the application file.

## **7.0 REPRESENTATIONS**

7.1 The owners/occupiers of the following addresses have made representations:

- 9B Sturton Street;
- 8 Hooper Street;
- 

7.2 The representations can be summarised as follows:

- There is a potential impact on the Party Wall through demolition;
- If there is asbestos then it is removed carefully;
- Loss of Privacy, enclosure and dominating the rear garden area;
- Fails to provide adequate amenity space;
- Increase in light pollution and noise and disturbance through increased density;
- Interlocking between the proposed dwelling and existing frontage building;
- Inadequate bin storage;

- Side extension is a unsightly addition;
- Loss of the existing mature Cherry Tree;
- Loss of parking on site and no provision for disabled parking;
- Previous Appeal Decision stated:  
*“The relationship between dwellings would lead to the loss of privacy”;*  
*“The loss of the tree would have the potential to increase the overlooking”*

7.3 The above representations are a summary of the comments that have been received. Full details of the representations can be inspected on the application file.

## **8.0 ASSESSMENT**

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces
3. Impact on Heritage Assets
4. Residential amenity
5. Refuse arrangements
6. Highway safety
7. Car and cycle parking
8. Third party representations
9. Planning Obligation Strategy

### **Principle of Development**

8.2 The provision of additional residential accommodation is accepted within the development plan, subject to compatibility with adjoining uses. This will be considered below.

8.3 In my opinion, the principle of the development is acceptable and in accordance with policy 5/1.

### **Context of site, design and external spaces**

8.4 The site is the rear part of the existing dwelling and the frontage dwelling at 6 Hooper Street. Currently there are disused commercial units which look dilapidated and are visible in the

street in the rear part of the site. The proposal seeks to create a single two bed unit, within the envelope of the existing disused shed and split the current house into two 2 bed room flats. I consider that in scale and massing terms the proposal is acceptable as the building in the rear is smaller than the current outbuildings and the proposal reduces the depth of the existing extension of the frontage building.

- 8.5 The proposal provides sufficient amenity space for the new dwelling as well as retaining some for the proposed ground floor flat in the main house. The immediate area is somewhat varied in terms of building size to amenity space ratio. I do not consider this to be an overdevelopment of the site.
- 8.6 In my view, the form and materials of the proposal are appropriate to the context. This view is supported by the conservation officer. Subject to condition, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/4, 3/7, 3/11, 3/12.

### **Impact on Heritage Assets**

- 8.7 The application is supported by a Design and Access Statement as required by the NPPF. The Conservation Officer has also commented that the proposal will not have a detrimental impact upon the character and context of the Conservation Area subject to clarification on the window in the side extension serving the stairs and the use of materials. I recommend conditions to control this aspect.
- 8.8 Subject to condition, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 4/11.

### **Residential Amenity**

Impact on amenity of neighbouring occupiers

- 8.9 The Environmental Health Officer has commented that the proposal being in a residential area is likely to create noise and disturbance through construction activity and therefore recommends conditions to control the hours of operation (Condition 5), and deliveries (Condition 6), and dust (Condition 7), which I accept. The previous use of the site could have the potential for ground contamination and the submitted report

highlights this. The Scientific Officer has concluded that the standard condition (Condition 8) is recommended to mitigate any potential hazard and I accept this advice.

- 8.10 The Planning Inspector in the assessment of the previous scheme regarded that the living conditions of the nearby residents and future occupiers would be compromised. I address these issues in respect of the two main components of the proposal below.

### **New Building to the Rear**

- 8.11 The Inspector concluded that this could lead to the loss of privacy to the neighbours. The dismissed scheme introduced windows in the south elevation which faced the adjoining occupiers. This scheme has long thin windows at ground floor serving ground floor dining and living area to the new dwelling. There is These are the only windows that give rise to any potential loss of privacy between the scheme and occupiers of the existing frontage building and considering that they are to be obscure glazed, which I recommend via a condition (Condition 9), I consider that this scheme has addressed the issue of privacy raised by the Inspector.
- 8.12 Third party comments suggest that the proposed building would lead to an over-dominant form and create a sense of enclosure. The main bulk of the building will be aligned with the rear of the 6 Hooper Street and will reduce in height to the rear of number 7 and 8 Hooper Street with a single storey element abutting the common boundary with 8 Hooper Street. There is currently a workshop unit in place on this site. The proposal will be lower than this, which would improve the openness of the rear garden area rather than lead to a sense of enclosure or over dominating these gardens.
- 8.13 The Inspector had concerns regarding to overlooking towards Sturton Street. There were angled windows in the east elevation in the dismissed scheme. There are no windows in the elevation at high level in this scheme, and therefore it has addressed the concerns of the Inspector and I consider this acceptable.
- 8.14 Comments have been received regarding a potential increase in noise and disturbance. I do not consider that these issues would be significantly different to the existing situation.



- 8.15 There is a green screen that is to be installed along the common boundary with number 5. This is welcomed as this will mitigate any potential overlooking to these occupiers and subject to the screen being installed and maintained (Condition 10 and 11) which can be controlled by condition and I recommend the proposal is acceptable.

### **Extension to the Existing Frontage Building**

- 8.16 The main change is the removal of part of the rear extension and side to create bike storage and access to the amenity area for the private garden. The reduction of the built form will allow the garden to number 7 a more open view out of it and therefore is acceptable.
- 8.17 There is a first floor window that will look back at the proposed dwelling to the rear and the private amenity space of the ground floor flat. I consider that there is sufficient distance between this window and the closest opening to the new dwelling and therefore consider that this is acceptable. The overlooking to the ground floor flat amenity space is also acceptable as this is no different to the existing situation along Hooper Street and Sturton Street.

### **Conversion of the frontage building**

- 8.18 The conversion of the existing 6 Hooper Street into two flats is acceptable. Although there have been comments about the increase in people leading to increase in noise and disturbance, I note that this property could be converted into a small HMO (C4) to accommodate no more than 6 people without needing any formal permission which could lead to a more significant impact on noise and disturbance than the proposed 2 two bed.
- 8.19 In my opinion the proposal adequately respects the residential amenity of its neighbours and the constraints of the site and I consider that it is compliant with Cambridge Local Plan (2006) policies 3/4 and 3/7.

Amenity for future occupiers of the site

- 8.20 The reduction in the number of bedrooms and the more open plan layout as submitted will create a high quality living area with private space and associated bins and bike storage in a highly central location close to local amenities.
- 8.21 In my opinion the proposal provides a high-quality living environment and an appropriate standard of residential amenity for future occupiers, and I consider that in this respect it is compliant with Cambridge Local Plan (2006) policies 3/7 and 3/12.

### **Refuse Arrangements**

- 8.22 Comments have been received regarding the number of bins shown on the plans as not being adequate. The Environmental Health Officer has also commented that this is not sufficient but recommends a condition (Condition 13). I consider that there is room on site to accommodate the required number of bins as per the Council requirement and recommend a condition.
- 8.23 Subject to condition, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 3/12 and 4/13, and advice provided by the Cambridgeshire and Peterborough Waste Partnership (RECAP) : Waste Management Design Guide

### **Highway Safety**

- 8.24 The local highway authority have commented that the proposal will not lead to any highway safety concerns. In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 8/2

### **Car and Cycle Parking**

Car Parking

- 8.25 There is no car parking to be provided on site. I consider that this is acceptable as the site is within close proximity to local amenities on Mill Road and cycle and bus routes.

- 8.26 Comments have been received regarding the provision of no disability car parking space on site. I do not consider that this is a reasonable reason for refusal as there is parking available on street for disabled users close to the site.

### Cycle Parking

- 8.27 There is cycle parking to be provided on site. There are no further details about the space and enclosure and therefore I recommend a condition for large scale details of the proposed cycle parking.
- 8.28 Subject to condition, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 8/6 and 8/10.

### Trees

- 8.29 The impact of the proposal on the existing cherry tree was raised by the previous Inspector, and has been raised by third party objectors. This tree is in the rear garden environment and is not highly visible from the street. It plays a limited role in the wider area and its loss has been accepted by the Arboriculture Officer. I agree with her advice and accept her request for tree protection conditions.

### Third Party Representations

- 8.30 The issues raised relating to Party Wall and asbestos are not the subject of planning control.
- 8.31 The other issues raised have been addressed in the main body of the report above in sections headed "Context and design...." and "Impact on Heritage Asset" and "Residential Amenity"

### Planning Obligations

- 8.32 The Community Infrastructure Levy Regulations 2010 have introduced the requirement for all local authorities to make an assessment of any planning obligation in relation to three tests. If the planning obligation does not pass the tests then it is unlawful. The tests are that the planning obligation must be:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

In bringing forward my recommendations in relation to the Planning Obligation for this development I have considered these requirements

The Planning Obligation Strategy (2010) provides a framework for expenditure of financial contributions collected through planning obligations. The applicants have indicated their willingness to enter into a S106 planning obligation in accordance with the requirements of the Strategy and relevant Supplementary Planning Documents. The proposed development triggers the requirement for the following community infrastructure:

#### Open Space

- 8.33 The Planning Obligation Strategy requires that all new residential developments contribute to the provision or improvement of public open space, either through provision on site as part of the development or through a financial contribution for use across the city. The proposed development requires a contribution to be made towards open space, comprising outdoor sports facilities, indoor sports facilities, informal open space and provision for children and teenagers. The total contribution sought has been calculated as follows.
- 8.34 The application proposes the erection of 1 two-bedroom house. A house or flat is assumed to accommodate one person for each bedroom, but one-bedroom flats are assumed to accommodate 1.5 people. Contributions towards provision for children and teenagers are not required from one-bedroom units. The totals required for the new house are calculated as follows:

<b>Outdoor sports facilities</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	238	238		
1 bed	1.5	238	357		
2-bed	2	238	476	1	476
3-bed	3	238	714		
4-bed	4	238	952		
<b>Total</b>					<b>476</b>

<b>Indoor sports facilities</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	269	269		
1 bed	1.5	269	403.50		
2-bed	2	269	538	1	538
3-bed	3	269	807		
4-bed	4	269	1076		
<b>Total</b>					<b>538</b>

<b>Informal open space</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	242	242		
1 bed	1.5	242	363		
2-bed	2	242	484	1	484
3-bed	3	242	726		
4-bed	4	242	968		
<b>Total</b>					<b>484</b>

<b>Provision for children and teenagers</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	0	0		0
1 bed	1.5	0	0		0
2-bed	2	316	632	1	632
3-bed	3	316	948		
4-bed	4	316	1264		
<b>Total</b>					<b>632</b>

**and**

8.35 The application also proposes the conversion of 1 residential unit containing 3 bedrooms to form 2 new units containing two bedrooms each totalling 4. In conversions, the contributions for open space are based on the number of additional bedrooms created, each additional bedroom being assumed to contain one person. Contributions for provision for children and teenagers are only required if they are in units with more than one bedroom. The totals required for the new units resulting from the proposed conversion are calculated as follows:

<b>Outdoor sports facilities</b>					
Existing total bedrooms	New total bedrooms	Net additional bedrooms	Assumed net additional persons	J per person	Total J
3	4	1	1.5	238	<b>387</b>

<b>Indoor sports facilities</b>					
Existing total bedrooms	New total bedrooms	Net additional bedrooms	Assumed net additional persons	J per person	Total J
3	4	1	1.5	269	<b>403.5</b>

<b>Informal open space</b>					
Existing total bedrooms	New total bedrooms	Net additional bedrooms	Assumed net additional persons	J per person	Total J
3	4	1	1.5	242	<b>363</b>

**Provision for children and teenagers: not required**

8.36 A S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010) and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010), was completed on 9<sup>th</sup> January 2014. I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/8 and 10/1 and the Planning Obligation Strategy 2010 and the Cambridge City Council Open Space

Standards Guidance for Interpretation and Implementation (2010)

Community Development

8.37 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to community development facilities, programmes and projects. This contribution is £1256 for each unit of one or two bedrooms and £1882 for each larger unit. The total contribution sought has been calculated as follows:

<b>Community facilities</b>			
Type of unit	£ per unit	Number of such units	Total £
1 bed	1256		
2-bed	1256	2	2512
3-bed	1882		
4-bed	1882		
<b>Total</b>			<b>2512</b>

8.38 A S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), was completed on the 9<sup>th</sup> January 2014. I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Waste

8.39 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the provision of household waste and recycling receptacles on a per dwelling basis. As the type of waste and recycling containers provided by the City Council for houses are different from those for flats, this contribution is £75 for each house and £150 for each flat. The total contribution sought has been calculated as follows:

<b>Waste and recycling containers</b>			
Type of unit	£ per unit	Number of such units	Total £
House	75	1	75
Flat	150	1	150
<b>Total</b>			<b>225</b>

8.40 A S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), was completed on the 9<sup>th</sup> January 2014. I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/7, 3/12 and 10/1 and the Planning Obligation Strategy 2010.

#### Monitoring

8.41 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the costs of monitoring the implementation of planning obligations. The costs are calculated according to the heads of terms in the agreement. The contribution sought will be calculated as £150 per financial head of term and £300 per non-financial head of term. Contributions are therefore required on that basis.

#### Planning Obligations Conclusion

8.42 It is my view that the planning obligation is necessary, directly related to the development and fairly and reasonably in scale and kind to the development and therefore the Planning Obligation passes the tests set by the Community Infrastructure Levy Regulations 2010.

### **9.0 CONCLUSION**

9.1 The proposal is smaller in size and scale to the existing work shop building and I have concluded that this scheme has addressed the concerns of the Inspector and concerns raised by third party objectors and I recommend APPROVAL subject to conditions and informatives.



## 10.0 RECOMMENDATION

### FOR RECOMMENDATIONS OF APPROVAL

#### **1. APPROVE subject to the following conditions and reasons for approval:**

Appendix 1: Decision Notice of Planning Reference 11/0441/FUL

Appendix 2: Planning Inspector Decision Notice for refused application reference 11/0441/FUL

Appendix 3: Minutes of the Development Control Forum meeting of 11<sup>th</sup> December 2013

Appendix 4: Full Details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

3. Prior to the commencement of development, with the exception of below ground works, full details of all external materials shall be submitted to and approved in writing by the local planning authority. This may consist of large-scale drawings and/or samples. The development shall be carried out in accordance with the approved details.

Reason: In the interests of the visual amenity of the Conservation Area. (Cambridge Local Plan 2006 policies 3/12 and 4/11)

4. Notwithstanding the plan reference 06/552L/57B floor plan details are required showing the position and size of the window.

Reason: To protect the character and setting of the Conservation Area. (Cambridge Local Plan (2006) policy 4/11).

5. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

6. Except with the prior written agreement of the local planning authority, there should be no collection or deliveries to the site during the demolition and construction stages outside the hours of 0700 hrs and 1900 hrs on Monday - Saturday and there should be no collections or deliveries on Sundays or Bank and public holidays.

Reason: Due to the proximity of residential properties to this premises and that extensive refurbishment will be required, the above conditions are recommended to protect the amenity of these residential properties throughout the redevelopment in accordance with policies 4/13 and 6/10 of the Cambridge Local Plan (2006)

7. No development shall commence until a programme of measures to minimise the spread of airborne dust from the site during the demolition / construction period has been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved scheme.

Reason: To protect the amenity of the neighbour occupiers. (Cambridge Local Plan (2006) policy 4/13).

8. No development approved by this permission shall be COMMENCED prior to a contaminated land assessment and associated remedial strategy, being submitted to the local planning authority and receipt of approval of the document/documents from the LPA. This applies to paragraphs a), b) and c). This is an iterative process and the results of each stage will help decide if the following stage is necessary.

(a) The contaminated land assessment shall include a desk study to be submitted to the local planning authority for approval. The desk study shall detail the history of the site uses and propose a site investigation strategy based on the relevant information discovered by the desk study. The strategy shall be approved by the local planning authority prior to investigations commencing on site.

(b) The site investigation, including relevant soil, soil gas, surface and groundwater sampling, shall be carried out by a suitable qualified and accredited consultant/contractor in accordance with a quality assured sampling and analysis methodology.

(c) A site investigation report detailing all investigative works and sampling on site, together with the results of the analysis, risk assessment to any receptors and a proposed remediation strategy shall be submitted to the local planning authority. The local planning authority shall approve such remedial works as required prior to any remediation commencing on site. The works shall be of such a nature as to render harmless the identified contamination given the proposed end use of the site and surrounding environment including any controlled waters.

No development approved by this permission shall be OCCUPIED prior to the completion of any remedial works and a validation report/s being submitted to the local planning authority and receipt of approval of the document/documents from the local planning authority. This applies to paragraphs d), e) and f).

(d) Approved remediation works shall be carried out in full on site under a quality assurance scheme to demonstrate compliance with the proposed methodology and best practice guidance.

Reason: To protect the amenity of future occupiers (Cambridge Local Plan (2006) policy 4/13).

(e) If, during the works contamination is encountered which has not previously been identified then the additional contamination shall be fully assessed and an appropriate remediation scheme agreed with the local planning authority.

(f) Upon completion of the works, this condition shall not be discharged until a closure report has been submitted to and approved by the local planning authority. The closure report shall include details of the proposed remediation works and quality assurance certificates to show that the works have been carried out in full in accordance with the approved methodology. Details of any post-remedial sampling and analysis to show the site has reached the required clean-up criteria shall be included in the closure report together with the necessary documentation detailing what waste materials have been removed from site.

9. The windows identified as having obscured glass on drawing number 06/552L/57B on the south and east elevation at ground floor level shall be obscure glazed to a minimum level of obscurity to conform to Pilkington Glass level 3 or equivalent prior to commencement of use of the dwelling and shall have restrictors to ensure that the window cannot be opened more than 45 degrees beyond the plane of the adjacent wall and shall be retained as such thereafter.

Reason: In the interests of residential amenity (Cambridge Local Plan 2006 policies 3/4 and 3/12 or 3/14).

10. Prior to the occupation of the new dwelling in the rear part of the site of 6 Hooper Street the green screen shown on drawing number 06/552L/57B shall be installed to the full height and details of the planting shall be submitted to and agreed in writing by the local planning authority. The Green Screen shall be implemented and retained in perpetuity unless otherwise agreed in writing by the local planning authority.

Reason: To protect the amenity of adjoining occupiers. (Cambridge Local Plan (2006) policy 3/4, 3/7 and 3/12).

11. A maintenance schedule for the green screen covering full details of planting and replacement planting shall be submitted to and agreed in writing by the local planning authority. The development shall then be implemented in accordance with the approved details.

Reason: To protect the amenity of adjoining occupiers. (Cambridge Local Plan (2006) policy 3/4, 3/7 and 3/12).

12. Prior to commencement and in accordance with BS5837 2012, a phased Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP) shall be submitted to the local planning authority for its written approval, before any equipment, machinery or materials are brought onto the site for the purpose of development (including demolition). In a logical sequence the AMS and TPP will consider all phases of construction in relation to the potential impact on trees and detail the specification and position of protection barriers and ground protection and all measures to be taken for the protection of any trees from damage during the course of any activity related to the development, including demolition, storage of materials, ground works, installation of services, erection of scaffolding and landscaping.

The approved AMS and TPP will be implemented throughout the development and the agreed means of protection shall be retained on site until all equipment, and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected in accordance with this condition, and the ground levels within those areas shall not be altered nor shall any excavation be made without the prior written approval of the local planning authority.

Reason: For the protection of trees on and adjoining the site. (Cambridge Local Plan (2006) policy 4/4).

13. Prior to the commencement of development, full details of the on-site storage facilities for waste including waste for recycling shall be submitted to and approved in writing by the local planning authority. Such details shall identify the specific positions of where wheelie bins, recycling boxes or any other means of storage will be stationed and the arrangements for the disposal of waste. The approved facilities shall be provided prior to the commencement of the use hereby permitted and shall be retained thereafter unless alternative arrangements are agreed in writing by the local planning authority.

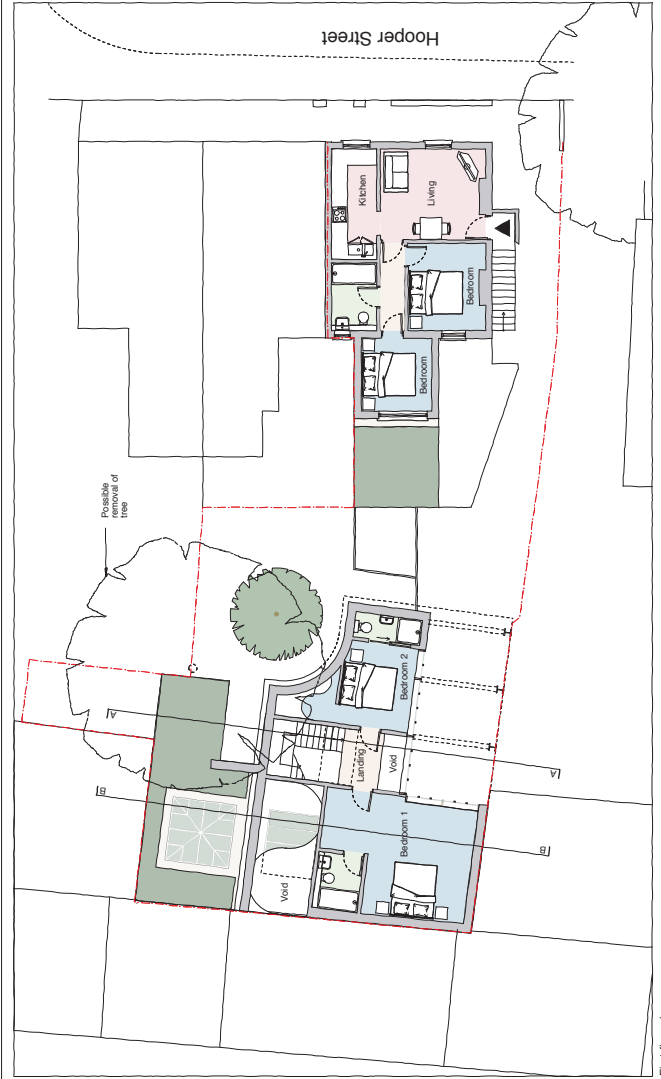
Reason: To protect the amenity of the adjoining occupiers.  
(Cambridge Local Plan (2006) policies 3/7 and 4/13)

**INFORMATIVE:** The applicants are reminded that the future occupiers will not have any on street parking permits except visitors.

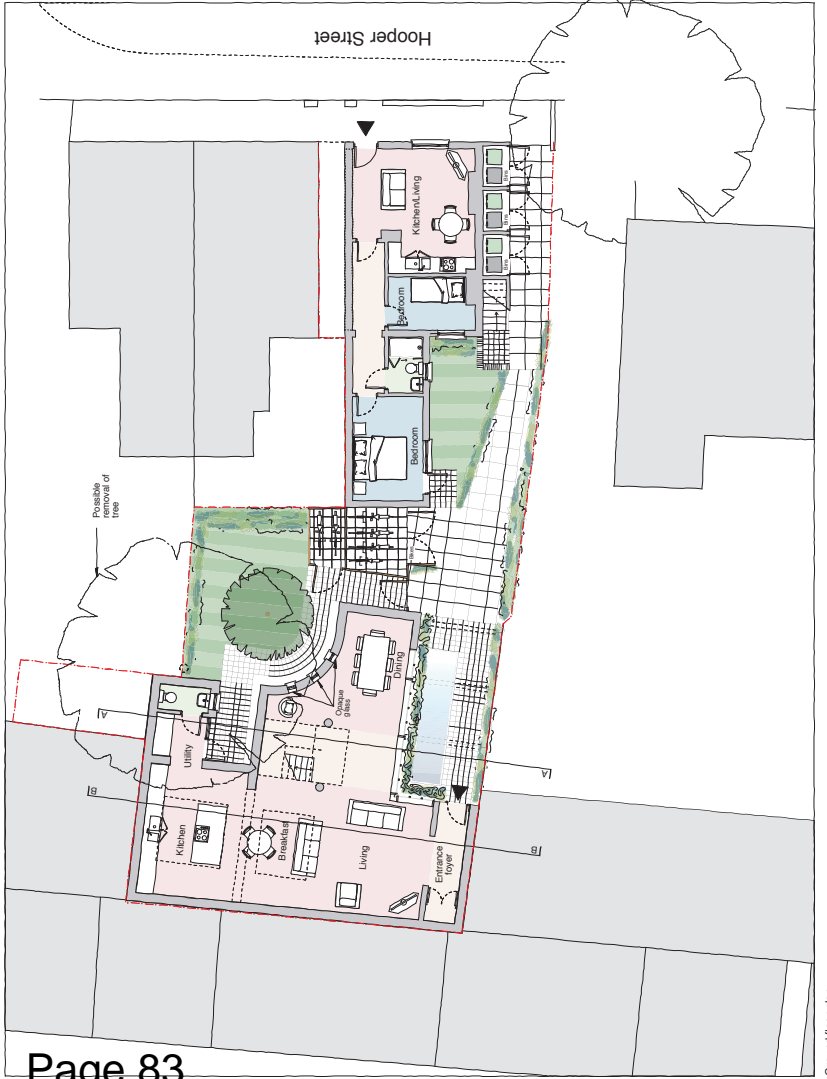
**INFORMATIVE:** To satisfy the condition requiring the submission of a program of measures to control airborne dust above, the applicant should have regard to:

'Council's Supplementary Planning Document' 'Sustainable Design and Construction 2007':  
<http://www.cambridge.gov.uk/public/docs/sustainable-design-and-construction-spd.pdf>

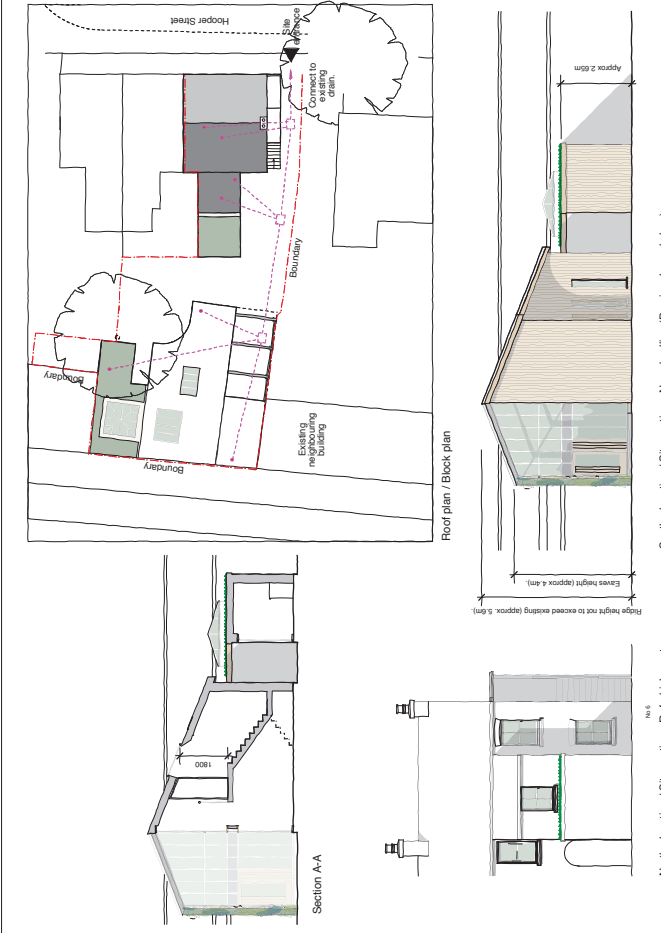
'Control of dust and emissions from construction and demolition - Best Practice Guidance produced by the London Councils':  
[http://www.london.gov.uk/thelondonplan/guides/bpg/bpg\\_04.jsp](http://www.london.gov.uk/thelondonplan/guides/bpg/bpg_04.jsp)



First floor plan

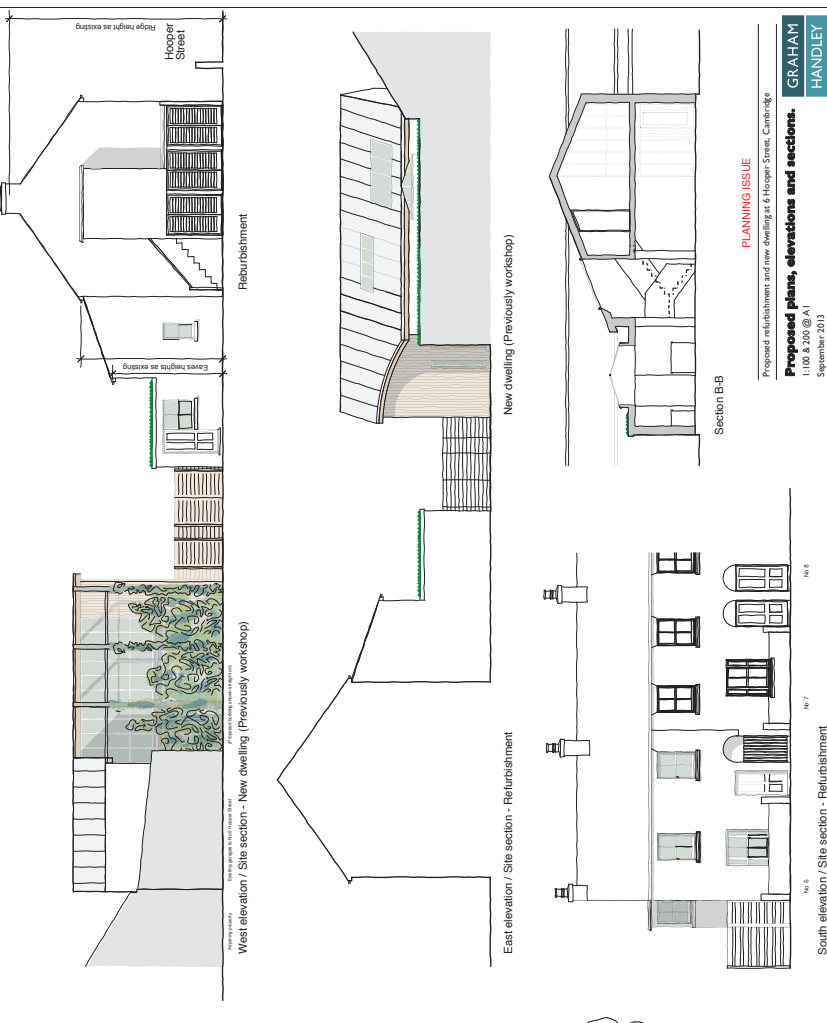


Ground floor plan



North elevation / Site section - Refurbishment

South elevation / Site section - New dwelling (Previously workshop)



North elevation / Site section - Refurbishment

South elevation / Site section - New dwelling (Previously workshop)

PLANNING ISSUE  
Proposed refurbishment and new dwelling at 6 Hooper Street, Cambridge  
1:100 & 200 @ A1  
September 2013  
Drawing No. 04552157B  
© copyright reserved

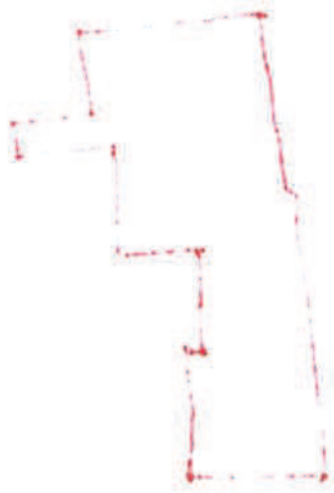
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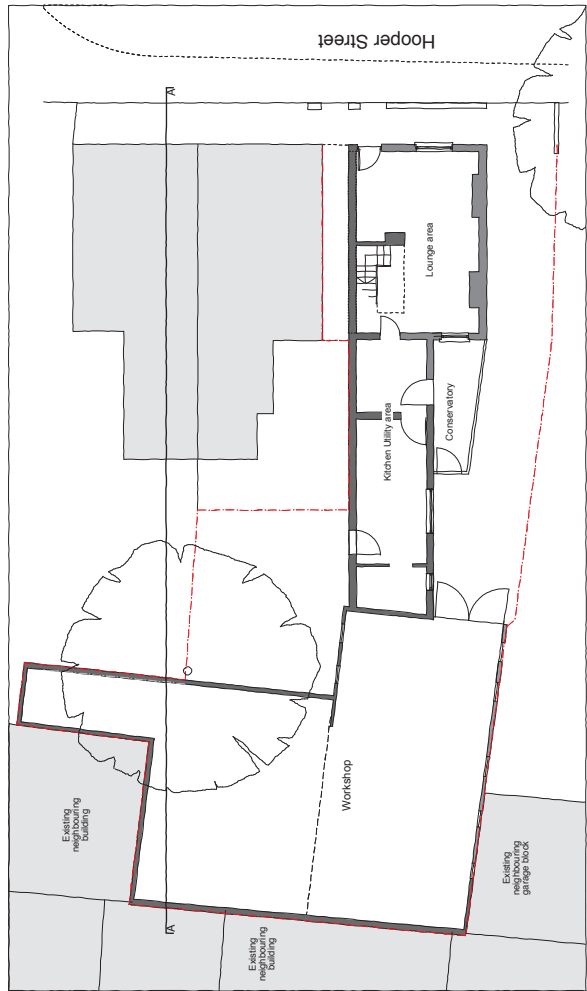




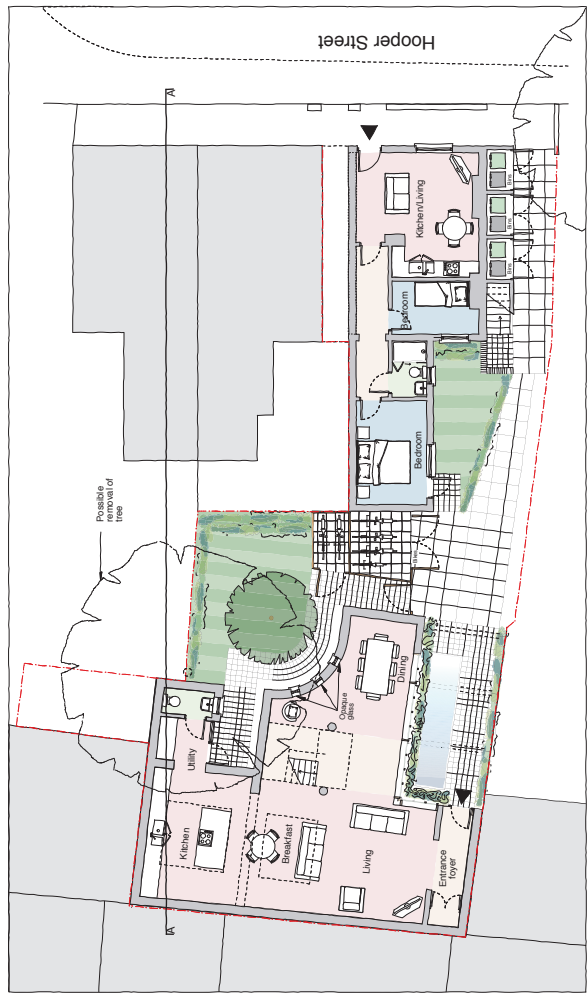
6 Hooper Street, Cambridge  
**Location plan**  
 Scale 1:500  
 Drawing No. 06/552L/Location  
 © Graham Handley Architects Ltd



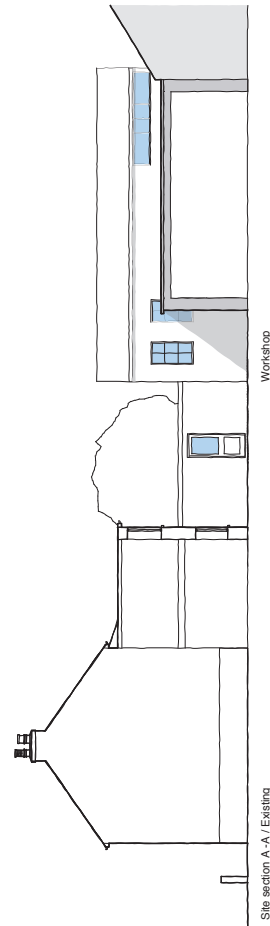




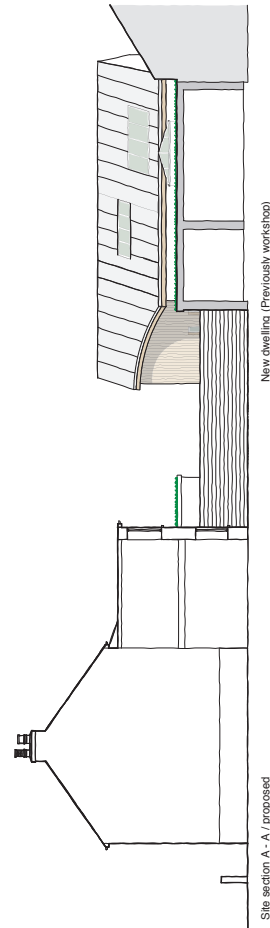
Ground floor plan - existing



Ground floor plan - Proposed



Site section A-A / Existing



Site section A - A / proposed

New dwelling (Previously workshop)

**PRELIMINARY**  
Proposed refurbishment and new dwelling at 6 Hooper Street, Cambridge

**Section through No. 6 Hooper St. and  
plans of adjacent development.**

1:100 @ A1  
January 2014  
Drawing No. 06/S2/L159  
© Graham Handley Architects

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<b>Application Number</b>	13/1644/FUL	Agenda Item	
<b>Date Received</b>	19th November 2013	<b>Officer</b>	Mr Amit Patel
<b>Target Date</b>	14th January 2014		
<b>Ward</b>	Petersfield		
<b>Site</b>	56 And 56A Mill Road Cambridge CB1 2AS		
<b>Proposal</b>	Two storey rear extension and associated works (including changes to shopfront) to combine retail units 56 and 56A Mill Road and to create 6 self contained studio flats, 4 of which are new, following demolition of existing extensions and outbuildings.		
<b>Applicant</b>	Mr A Sharma The Coach House Station Farm Fen Road, Lode Cambridge CB25 9HD		

<b>SUMMARY</b>	<p>The development accords with the Development Plan for the following reasons:</p> <p>Other extensions of a similar size and scale in the immediate area;</p> <p>No detrimental impact upon the character of the Conservation Area;</p> <p>No detrimental impact on the residential amenity of neighbouring occupiers</p>
<b>RECOMMENDATION</b>	<b>APPROVAL</b>

## **1.0 SITE DESCRIPTION/AREA CONTEXT**

- 1.1 The application site is situated on the south-western side of Mill Road. It is a mid-terrace property, two-storey in height and has been extended with single storey extensions to the rear which are part of the retail unit on the ground floor.
  
- 1.2 The other properties within this block are two and three storey in height notably number 58 which is three-storey. The

properties almost all have residential space above which is either accessed by a separate door off Mill Road or from the rear by the alley way. This property is different in the sense that the first floor is only accessed from within the shop and does not have a separate access.

- 1.3 The building itself is not listed or a building of local interest but the site is within a Conservation Area and within a restricted Parking Zone.

## **2.0 THE PROPOSAL**

- 2.1 The original application sought approval for the creation of 4 new self-contained studio flats following the demolition of the existing outbuildings and the amalgamation of the two retail units on ground floor.

- 2.2 Following discussions with officers, the applicants have submitted revised drawings. The revision reduces the depth of the first floor element of the two-storey rear extension to number 56 Mill Road, This eliminates one of the proposed units, so only 4 new units would be created.

- 2.3 The application is accompanied by the following supporting information:

1. Design and Access Statement
2. Plans

## **3.0 SITE HISTORY**

- 3.1 None relevant to this application.

## **4.0 PUBLICITY**

- |                        |     |
|------------------------|-----|
| 4.1 Advertisement:     | Yes |
| Adjoining Owners:      | Yes |
| Site Notice Displayed: | Yes |

## **5.0 POLICY**

- 5.1 See Appendix 1 for full details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

## 5.2 Relevant Development Plan policies

PLAN	POLICY NUMBER
Cambridgeshire and Peterborough Minerals and Waste Plan (Development Plan Documents) July 2011	CS16
Cambridge Local Plan 2006	3/1 3/4 3/7 3/11 3/14 4/11 4/13 5/1 8/1 8/2 8/6 10/1

## 5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework March 2012 Circular 11/95 Community Infrastructure Levy Regulations 2010
Supplementary Planning Documents	Sustainable Design and Construction Cambridgeshire and Peterborough Waste Partnership (RECAP) : Waste Management Design Guide
Material Considerations	<u>Central Government:</u> Letter from Secretary of State for Communities and Local Government (27 May 2010) Written Ministerial Statement: Planning for Growth (23 March 2011)

	National Planning Practice Consultation
	<u>Citywide:</u> Open Space and Recreation Strategy Cycle Parking Guide for New Residential Developments Cambridge Shopfront Design Guide
	<u>Area Guidelines:</u> Conservation Area Appraisal: Mill Road Area

#### 5.4 Status of Proposed Submission – Cambridge Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For Cambridge, therefore, the emerging revised Local Plan as published for consultation on 19 July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

For the application considered in this report, there are no policies in the emerging Local Plan of relevance:

#### 6.0 **CONSULTATIONS** (Comments on the scheme originally submitted are shown first, followed by an additional comments following the revision)



## **Cambridgeshire County Council (Engineering)**

- 6.1 The new residents will not qualify for Residents Permits other than visitors in the existing Residents Parking Schemes operating in the surrounding streets.

### Additional comments on revised scheme

The highway have no additional comments to the amended scheme.

## **Sustainable Drainage**

- 6.2 The Design and Access statement proposes that a Sustainable Drainage system is to be employed but this is not shown on the plans. A condition is therefore required to show what SuDs techniques are to be employed.

### Additional Comments on revised scheme

Original comments still stand.

## **Head of Refuse and Environment**

- 6.3 No objection in principle subject to conditions relating to construction hours, collection and deliveries during construction, noise insulation, plant and building noise insulation, residential and trade waste, contaminated land and informatives relating to dust, noise and plant insulation and the Housing Health and Safety Rating System.

### Additional comments on revised scheme

Original comments still valid.

## **Urban Design and Conservation team**

- 6.4 The application is not supported. The proposal for the two storey extension will create an overly dominant form which will be detrimental to the character and setting of the Conservation Area and would also have a detrimental impact on the gardens of Mill Street and Mawson Road.

The new shop front is not supported as this has not gone far enough in design terms to enhance the Conservation Area as the positioning of the door is an anomaly to the way in which the other shop fronts integrate the door to the above flats.

#### Additional comments on revised scheme

The concerns about the bulk and massing have been addressed by reducing the first floor element and subject to the finishing this element is now supported.

The replication of the original shop front is welcomed and subject to conditions the proposal is supported.

### **Landscape**

- 6.5 The cycle storage is not large enough to accommodate the appropriate cycle storage and access to the cycle storage is poor. The outdoor area is not adequate amenity space for 7 flats and the outlook is poor from the flats. This is all related to the overdevelopment of the site.

#### Additional comments on revised scheme

The original concerns are still valid.

- 6.6 The above responses are a summary of the comments that have been received. Full details of the consultation responses can be inspected on the application file.

## **7.0 REPRESENTATIONS**

- 7.1 The owners/occupiers of the following addresses have made representations:

- 11 Mill Street
- 13 Mill Street
- 57 Mill Road

- 7.2 The representations can be summarised as follows:

- Will erode the character of the area with the substantial foot print of development and reduce the space between the shops on Mill Road and houses in Mill Street;

- Lack of necessity;
- Overlooking to the gardens of Mill Street;
- Impact to future residents through noise and disturbance;
- The door entrance from Mill Road should reflect the current door of the pharmacy;
- Should replicate the Victorian corbels.

7.3 The above representations are a summary of the comments that have been received. Full details of the representations can be inspected on the application file.

## **8.0 ASSESSMENT**

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces and impact upon the Conservation Area
3. Residential amenity
4. Refuse arrangements
5. Highway safety
6. Car and cycle parking
7. Third party representations
8. Planning Obligation Strategy

### **Principle of Development**

8.2 Policy 5/1 supports additional residential accommodation on windfall sites subject to compatibility with existing uses. In my opinion, the principle of the development is acceptable and in accordance with this policy

8.3 In my opinion, the principle of the development is acceptable and in accordance with policy 5/1.

### **Context of site, design and external spaces and impact on the Conservation Area**

#### Two-storey rear extensions

8.4 Policies 3/4 and 4/11 require that developments respond to their context and enhance the conservation area. This is done

through design and use of materials (Condition 5) as well as looking at the site constraints. The current characteristic pattern of development for this block of properties is generally two- to three-storey dwellings with a mixture of single-storey extensions as well as some traditional two-storey Victorian projections to the rear. There are buildings of different ages but they mainly replicate the scale of the existing Victorian buildings.

- 8.5 The proposed extensions will be visible from Mawson Road and through the 'gap' in Mill Street but only at obscure angles. I do not consider it would have any degree of prominence in the public realm. The extension will not project past the building line of number 58 and consequently remains in proportion with other extensions on the vicinity.
- 8.6 The two-storey element in the revised proposal is of more modest proportions than that originally submitted. There are other significant rear extensions at two-storey level in this block, and the proposal now does not conflict with this pattern. An appropriate proportion of the site is left undeveloped at second-storey level.
- 8.7 Concerns were raised by third parties about the scale of the extensions originally proposed. None of these parties has followed up with additional comments on the revised scheme. The Conservation Officer now supports the revised scheme subject to the use of appropriate materials (Conditions 3 to 5) and I agree with their advice.

#### Shop front

- 8.8 The revised shop front proposal is acceptable subject to conditions (Conditions 3 and 4) as it reflects the shop front of number 56.
- 8.9 The Conservation Officer has not raised the issue of corbelling, and I do not consider that the absence of this detail would cause any significant harm to the conservation area.
- 8.10 Subject to conditions, in my opinion the proposal is in accordance with Cambridge Local Plan (2006) policies 3/4, 3/7, 3/11, 3/14 and 4/11.

## **Residential Amenity**

### Impact on amenity of neighbouring occupiers

- 8.11 The Environmental Health team have commented that the proposal being in a residential area could have an impact upon the the residential amenity of the neighbouring occupiers through construction activity. This can be mitigated by conditions (Conditions 6 and 7), if the application was to be approved.
- 8.12 The proposal is to create a additional 4 self-contained rooms. This will involve some intensification of use on the site. However, I consider that as the surrounding properties are used in a similar manner the impact will not be significant.
- 8.13 I note that the adjoining properties have single-storey extensions at ground floor level that serve the commercial businesses facing Mill Road. I do not consider there would be any adverse impact on these areas from the proposed extension. This is a tight urban site and the properties on Mill Street have relatively small gardens. However, the proposed two-storey extension is now 12m from the common boundary with properties in Mill Street, and 18m from the nearest building in that direction. In my opinion, it will not have a dominating impact in the rear garden areas of Mill Street. This relationship between first-floor buildings connected to the Mill Road frontage and rear gardens in Mill Street is replicated within this block of properties and I consider that the impact of the proposal is acceptable.
- 8.14 The property at number 54a has residential accommodation at first floor. I do not consider the proposal would have any detrimental impact upon this property through sense of enclosure.
- 8.15 With respect to number 58, the proposed first floor element that projects beyond the existing elevation is set away from the common boundary and therefore the impact will not be significant.
- 8.16 In my opinion the proposal adequately respects the residential amenity of its neighbours and the constraints of the site and I

consider that it is compliant with Cambridge Local Plan (2006) policies 3/4 and 3/7.

Amenity for future occupiers of the site

- 8.17 The units would be small, and would have no functional or usable outdoor amenity space. Future occupiers of all three units on the ground floor would have other occupiers passing close to their windows to reach bin and cycle stores. The Environmental Health team have recommended conditions regarding the insulation (Conditions 8 and 9) of the flats against noise and the investigation of possible ground contamination (Condition 12) to protect the amenity of future occupiers and I agree that this is appropriate. Subject to condition, I consider the proposed provision to be just within the limits of acceptability and compliant in this respect with Cambridge Local Plan (2006) policies 3/7 and 3/14.

### **Refuse Arrangements**

- 8.18 There is no bin store shown in the proposal either for the commercial unit or the residential occupiers. I consider that there is room on site to accommodate this but a condition is required to ensure appropriate provision (Conditions 10 and 11).
- 8.19 Subject to condition, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/12 and 4/13.

### **Car and Cycle Parking**

- 8.20 No car parking provision is made. In my view, given the highly sustainable location and small size of the units this is acceptable and in accordance with the Car Parking Standards. Future occupiers would not have any permits to park cars except visitor parking. No information is shown regarding cycle parking. I consider that there is room at the rear to accommodate this in accordance with the Cycle Parking Standards. A condition (Condition 13) is necessary to ensure appropriate provision.
- 8.21 Subject to conditions, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 8/6 and 8/10.

## **Third Party Representations**

8.22 The concerns raised have been addressed in the report above.

## **Planning Obligation Strategy**

### **Planning Obligations**

8.23 The Community Infrastructure Levy Regulations 2010 have introduced the requirement for all local authorities to make an assessment of any planning obligation in relation to three tests. If the planning obligation does not pass the tests then it is unlawful. The tests are that the planning obligation must be:

(a) necessary to make the development acceptable in planning terms;

(b) directly related to the development; and

(c) fairly and reasonably related in scale and kind to the development.

In bringing forward my recommendations in relation to the Planning Obligation for this development I have considered these requirements. The Planning Obligation Strategy (2010) provides a framework for expenditure of financial contributions collected through planning obligations. The applicants have indicated their willingness to enter into a S106 planning obligation in accordance with the requirements of the Strategy and relevant Supplementary Planning Documents. The proposed development triggers the requirement for the following community infrastructure:

### Open Space

8.24 The Planning Obligation Strategy requires that all new residential developments contribute to the provision or improvement of public open space, either through provision on site as part of the development or through a financial contribution for use across the city. The proposed development requires a contribution to be made towards open space, comprising outdoor sports facilities, indoor sports facilities, informal open space and provision for children and teenagers. The total contribution sought has been calculated as follows.

8.25 The application proposes the erection of 6 one-bedroom flats, so the net total of additional residential units is 4. A house or flat is assumed to accommodate one person for each bedroom, but one-bedroom flats are assumed to accommodate 1.5 people. Contributions towards provision for children and teenagers are not required from one-bedroom units. The totals required for the new buildings are calculated as follows:

<b>Outdoor sports facilities</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	238	238		
1 bed	1.5	238	357	4	1428
2-bed	2	238	476		
3-bed	3	238	714		
4-bed	4	238	952		
<b>Total</b>					<b>1428</b>

<b>Indoor sports facilities</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	269	269		
1 bed	1.5	269	403.50	4	1614
2-bed	2	269	538		
3-bed	3	269	807		
4-bed	4	269	1076		
<b>Total</b>					<b>1614</b>

<b>Informal open space</b>					
Type of unit	Persons per unit	J per person	Jper unit	Number of such units	Total J
studio	1	242	242		
1 bed	1.5	242	363	4	1452
2-bed	2	242	484		
3-bed	3	242	726		
4-bed	4	242	968		
<b>Total</b>					<b>1452</b>



8.26 The applicants agent has confirmed that the applicant is willing to enter in to an agreement and negotiations are taking place with the Council’s Legal Team. Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010) and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/8 and 10/1 and the Planning Obligation Strategy 2010 and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010)

Community Development

8.27 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to community development facilities, programmes and projects. This contribution is J1256 for each unit of one or two bedrooms and J1882 for each larger unit. The total contribution sought has been calculated as follows:

<b>Community facilities</b>			
Type of unit	Jper unit	Number of such units	Total J
1 bed	1256	4	5024
2-bed	1256		
3-bed	1882		
4-bed	1882		
<b>Total</b>			<b>5024</b>

8.28 The applicants agent has confirmed that the applicant is willing to enter in to an agreement and negotiations are taking place with the Council’s Legal Team. Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Waste

8.29 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the provision of household waste and recycling receptacles on a per dwelling

basis. As the type of waste and recycling containers provided by the City Council for houses are different from those for flats, this contribution is J75 for each house and J150 for each flat. The total contribution sought has been calculated as follows:

<b>Waste and recycling containers</b>			
Type of unit	Jper unit	Number of such units	Total J
House	75		
Flat	150	4	600
<b>Total</b>			<b>600</b>

8.30 The applicants agent has confirmed that the applicant is willing to enter in to an agreement and negotiations are taking place with the Council’s Legal Team. Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/7, 3/12 and 10/1 and the Planning Obligation Strategy 2010.

Education

8.31 Upon adoption of the Planning Obligation Strategy (2010) the Council resolved that the Education section in the 2004 Planning Obligations Strategy continues to apply until it is replaced by a revised section that will form part of the Planning Obligations Strategy 2010. It forms an annex to the Planning Obligations Strategy (2010) and is a formal part of that document. Commuted payments are required towards education facilities where four or more additional residential units are created and where it has been established that there is insufficient capacity to meet demands for educational facilities.

8.32 In this case, 4 additional residential units are created and the County Council have confirmed that there is insufficient capacity to meet demand for lifelong learning. Contributions are not required for pre-school education, primary education and secondary education for one-bedroom units. Contributions are therefore required on the following basis.

<b>Life-long learning</b>					
Type of unit	Persons per unit		Jper unit	Number of such	Total J

				units	
1 bed	1.5		160	4	640
2+- beds	2		160		
<b>Total</b>					<b>640</b>

8.33 The applicants agent has confirmed that the applicant is willing to enter in to an agreement and negotiations are taking place with the Council's Legal Team. Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy 2010, I am satisfied that the proposal accords with Cambridgeshire and Peterborough Structure Plan (2003) policies P6/1 and P9/8, Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

#### Household Recycling Centres

- 8.34 A network of Household Recycling Centres is operational across the Cambridgeshire and Peterborough area. Continued development will put pressure on the existing facilities and require expansion of the network. Financial contributions are required in accordance with the Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document (February 2012). These contributions vary according to the nature and scale of the proposed development and are based on any additional costs for the relevant local authority arising out of the need for additional or improved infrastructure, which is related to the proposed development.
- 8.35 The adoption of the Waste Management Design Guide SPD requires a contribution to be made in relation to all new development where four or more new residential units are created. Policy CS16 of the adopted Minerals and Waste Core Strategy requires new development to contribute towards Household Recycling Centres (HRCs) consistent with the RECAP Waste Management Design Guide SPD.
- 8.36 For new development in Cambridge the relevant HRC is located at Milton. The following table sets out how the contribution per new dwelling has been calculated for the Milton HRC.

Notes for Milton	Infrastructure/households	Source
4 sites at J5.5 million	J22 million	Cost per site sourced from Mouchel Parkman indicative costs 2009
Total catchment (households)	115,793	WMT Recycling Centre catchment tables CCC mid 2009 dwelling figures
New households	24,273	CCC housing trajectory to 2025 as of December 2010
<u>Infrastructure costs</u>		
Total number of households in catchment		x New households in catchment
<u>J22 million</u> 115,793	x 24,273	= J4,611,730
Total Developer Contribution per household = J190		

The net gain is 4 therefore the necessary contribution towards HRC is J760.

..

- 8.37 The applicants agent has confirmed that the applicant is willing to enter in to an agreement and negotiations are taking place with the Council's Legal Team. Subject to the completion of a S106 planning obligation to secure the requirements of the Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document (February 2012), I am satisfied that the proposal accords with the Cambridgeshire and Peterborough Minerals and Waste Development Plan (Core Strategy Development Plan Document July 2011) policy CS16.

## Monitoring

- 8.38 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the costs of monitoring the implementation of planning obligations. The costs are calculated according to the heads of terms in the agreement. The contribution sought will be calculated as £150 per financial head of term, £300 per non-financial head of term. Contributions are therefore required on that basis.

## Planning Obligations Conclusion

- 8.39 It is my view that the planning obligation is necessary, directly related to the development and fairly and reasonably in scale and kind to the development and therefore the Planning Obligation passes the tests set by the Community Infrastructure Levy Regulations 2010.

## **9.0 CONCLUSION**

The revised scheme proposed an extension which reflects the general pattern of development in the area, and avoids harm to neighbour amenity or the character of the conservation area and is considered acceptable subject to conditions.

## **10.0 RECOMMENDATION**

**APPROVE** subject to the satisfactory completion of the s106 agreement by 3<sup>rd</sup> March 2014 and subject to the following conditions and reasons for approval:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

3. Full details, to a large scale, of all joinery and other elements of the shopfront are to be submitted to and approved in writing by the local planning authority before development commences. This includes timber and other mouldings, stallriser finishes, console and other brackets, doors, thresholds and fanlights. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

4. All new joinery in the shopfront is to be of timber and not metal or plastic.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

5. No brickwork is to be erected until the choice of brick, bond, mortar mix design and pointing technique have been submitted to and approved in writing by the local planning authority by means of sample panels prepared on site. The approved panels are to be retained on site for the duration of the works for comparative purposes, and development must take place only in accordance with the approved details.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

6. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

7. Except with the prior written agreement of the local planning authority, there should be no collection or deliveries to the site during the demolition and construction stages outside the hours of 0700 hrs and 1900 hrs on Monday - Saturday and there should be no collections or deliveries on Sundays or Bank and public holidays.

Reason: Due to the proximity of residential properties to this premises and that extensive refurbishment will be required, the above conditions are recommended to protect the amenity of these residential properties throughout the redevelopment in accordance with policies 4/13 and 6/10 of the Cambridge Local Plan (2006)

8. Prior to the commencement of development/construction, a noise insulation scheme detailing the acoustic noise insulation performance specification of the external building envelope of the residential units (having regard to the building fabric, glazing and ventilation) to reduce the level of noise experienced in the residential units as a result of the proximity of the habitable rooms to the high ambient noise levels in the area (Mill Road façade dominated by traffic and vehicle noise), be submitted to and approved in writing by the local planning authority. The scheme shall achieve the internal noise levels recommended in British Standard 8233:1999 Sound Insulation and noise reduction for buildings-Code of Practice. The scheme as approved shall be fully implemented before the use hereby permitted is commenced and shall not be altered without prior approval.

Reason: To protect the amenity of future occupiers. (Cambridge Local Plan (2006) policy 4/13).

9. Before the development/use hereby permitted is commenced, a scheme for the insulation of the building(s) and/or plant in order to minimise the level of noise emanating from the said building(s) and/or plant shall be submitted to and approved in writing by the local planning authority and the scheme as approved shall be fully implemented before the use hereby permitted is commenced.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

10. Prior to the commencement of development, full details of the on-site storage facilities for waste including waste for recycling shall be submitted to and approved in writing by the local planning authority. Such details shall identify the specific positions of where wheelie bins will be stationed and the arrangements for the disposal of waste. The approved facilities shall be provided prior to the commencement of the use hereby permitted and shall be retained thereafter unless alternative arrangements are agreed in writing by the local planning authority.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

11. Prior to the commencement of development, full details of the on-site storage facilities for trade waste, including waste for recycling shall be submitted to and approved in writing by the local planning authority. Such details shall identify the specific positions of where wheeled bins, or any other means of storage will be stationed and the arrangements for the disposal of waste and recycling to include the provision of a minimum of one third recycling/organic capacity. The approved facilities shall be provided prior to the commencement of the use hereby permitted and shall be retained thereafter unless alternative arrangements are agreed in writing by the local planning authority.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

12. No development approved by this permission shall be COMMENCED prior to a contaminated land assessment and associated remedial strategy, being submitted to the local planning authority and receipt of approval of the document/documents from the local planning authority. This applies to paragraphs a), b) and c). This is an iterative process and the results of each stage will help decide if the following stage is necessary.



(a) The contaminated land assessment shall include a desk study to be submitted to the LPA for approval. The desk study shall detail the history of the site uses and propose a site investigation strategy based on the relevant information discovered by the desk study. The strategy shall be approved by the local planning authority prior to investigations commencing on site.

(b) The site investigation, including relevant soil, soil gas, surface and groundwater sampling, shall be carried out by a suitable qualified and accredited consultant/contractor in accordance with a quality assured sampling and analysis methodology.

(c) A site investigation report detailing all investigative works and sampling on site, together with the results of the analysis, risk assessment to any receptors and a proposed remediation strategy shall be submitted to the LPA. The LPA shall approve such remedial works as required prior to any remediation commencing on site. The works shall be of such a nature as to render harmless the identified contamination given the proposed end use of the site and surrounding environment including any controlled waters.

No development approved by this permission shall be OCCUPIED prior to the completion of any remedial works and a validation report/s being submitted to the local planning authority and receipt of approval of the document/documents from the local planning authority. This applies to paragraphs d), e) and f).

(d) Approved remediation works shall be carried out in full on site under a quality assurance scheme to demonstrate compliance with the proposed methodology and best practice guidance.

(e) If, during the works contamination is encountered which has not previously been identified then the additional contamination shall be fully assessed and an appropriate remediation scheme agreed with the local planning authority.

(f) Upon completion of the works, this condition shall not be discharged until a closure report has been submitted to and approved by the local planning authority. The closure report shall include details of the proposed remediation works and quality assurance certificates to show that the works have been carried out in full in accordance with the approved methodology. Details of any post-remedial sampling and analysis to show the site has reached the required clean-up criteria shall be included in the closure report together with the necessary documentation detailing what waste materials have been removed from site.

Reason: To protect the amenity of future occupiers. (Cambridge Local Plan (2006) policy 4/13).

13. No development shall commence until details of facilities for the covered, secured parking of bicycles for use in connection with the development hereby permitted shall be submitted to and approved by the local planning authority in writing. The approved facilities shall be provided in accordance with the approved details before use of the development commences.

Reason: To ensure appropriate provision for the secure storage of bicycles. (Cambridge Local Plan 2006 policy 8/6)

**INFORMATIVE:** The demolition phase may give rise to dust and therefore the applicant is advised to ensure that appropriate measures are employed to minimise the spread of airborne dust from the site. Further guidance can be obtained from:

Council's Supplementary Planning Document - "Sustainable Design and Construction 2007":

[https://www.cambridge.gov.uk/sites/www.cambridge.gov.uk/files/documents/SustainComSPD\\_WEB.pdf](https://www.cambridge.gov.uk/sites/www.cambridge.gov.uk/files/documents/SustainComSPD_WEB.pdf)

Control of dust and emissions from construction and demolition - Best Practice Guidance produced by the London Councils:

[http://www.london.gov.uk/thelondonplan/guides/bpg/bpg\\_04.jsp](http://www.london.gov.uk/thelondonplan/guides/bpg/bpg_04.jsp)

**INFORMATIVE:** To satisfy the noise insulation condition for the building envelope as required above, the Council expects the scheme to achieve the 'good' internal noise levels of British Standard 8233:1999 "Sound Insulation and noise reduction for buildings-Code of Practice". Where sound insulation requirements preclude the opening of windows for rapid ventilation and summer cooling, acoustically treated mechanical ventilation may also need to be considered within the context of this internal design noise criteria.

**INFORMATIVE:** To satisfy standard condition C62 (Noise Insulation), the rating level (in accordance with BS4142:1997) from all plant and equipment, vents etc (collectively) associated with this application should be less than or equal to the existing background level (L90) at the boundary of the premises subject to this application and having regard to noise sensitive premises.

Tonal/impulsive noise frequencies should be eliminated or at least considered in any assessment and should carry an additional 5 dB(A) correction. This is to guard against any creeping background noise in the area and prevent unreasonable noise disturbance to other premises. This requirement applies both during the day (0700 to 2300 hrs over any one hour period) and night time (2300 to 0700 hrs over any one 5 minute period).

It is recommended that the agent/applicant submits a noise prediction survey/report in accordance with the principles of BS4142: 1997 "Method for rating industrial noise affecting mixed residential and industrial areas" or similar, concerning the effects on amenity rather than likelihood for complaints. Noise levels shall be predicted at the boundary having regard to neighbouring premises.

Such a survey / report should include: a large scale plan of the site in relation to neighbouring premises; noise sources and measurement / prediction points marked on plan; a list of noise sources; details of proposed noise sources / type of plant such as: number, location, sound power levels, noise frequency spectrums, noise directionality of plant, noise levels from duct intake or discharge points; details of noise mitigation measures (attenuation details of any intended enclosures, silencers or barriers); description of full noise calculation procedures; noise levels at a representative sample of noise sensitive locations and hours of operation.

Any report shall include raw measurement data so that conclusions may be thoroughly evaluated and calculations checked.

**INFORMATIVE:** The Housing Act 2004 introduces the Housing Health & Safety Rating System as a way to ensure that all residential premises provide a safe and healthy environment to any future occupiers or visitors.

Each of the dwellings must be built to ensure that there are no unacceptable hazards for example ensuring adequate fire precautions are installed; all habitable rooms have adequate lighting and floor area etc.

The applicant/agent is advised to contact housing standards at Mandela House, 4 Regent Street, Cambridge and Building Control concerning fire precautions, means of escape and the HHSRS

**2. Unless prior agreement has been obtained from the Head of Planning, in consultation with the Chair and Spokesperson of this Committee to extend the period for completion of the Planning Obligation required in connection with this development, if the Obligation has not been completed by INSERT DATE HERE, or if Committee determine that the application be refused against officer recommendation of approval, it is recommended that the application be refused for the following reason(s):**

The proposed development does not make appropriate provision for public open space, community development facilities, life-long learning facilities, waste facilities, waste

management and monitoring accordance with Cambridge Local Plan 2006 policies 3/7, 3/8, 3/12, 5/5, 5/14, 8/3 and 10/1 and the Cambridgeshire and Peterborough Minerals and Waste Development Plan (Core Strategy Development Plan Document July 2011) policy CS16 and as detailed in the Planning Obligation Strategy 2010, the Open Space Standards Guidance for Interpretation and Implementation 2010, Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document 2012.

3. In the event that the application is refused, and an Appeal is lodged against the decision to refuse this application, delegated authority is sought to allow officers to negotiate and complete the Planning Obligation required in connection with this development

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**NOTES**  
All dimensions must be checked on site and not scaled from this drawing.

**Rev:**

- a - 23 December 2013 - First floor apartment 7 removed, south eastern and south western elevations revised.
- b - 16 January 2014 - Roofscape amended to both proposed south eastern and south western elevations.
- c - 23 January 2014 - All elevations amended to coincide with internal layout revisions.



**CHARTERED BUILDING SURVEYORS**

The Coach House  
Station Farm  
Fen Road  
Lode  
Cambridge  
CB23 9HD

Telephone : 01223 812700  
Fak : 01223 812701

**CLIENT:**

Mr A Sharma

**JOB TITLE:**

56 & 56a Mill Road

Cambridge

**DRAWING TITLE:**

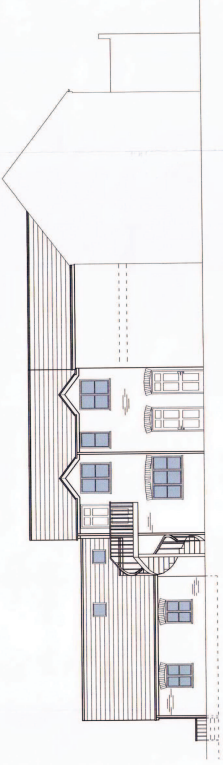
Existing & Proposed  
Elevations

SCALE: 1 : 100 @ A1

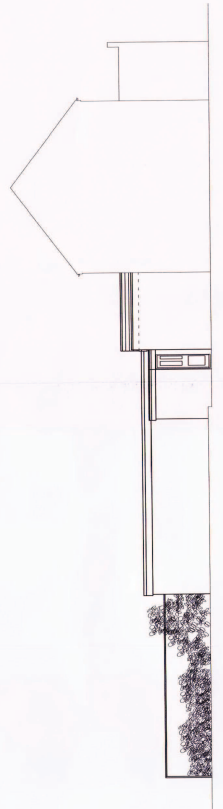
DATE: 6 November 2013

DRAWN: ARW

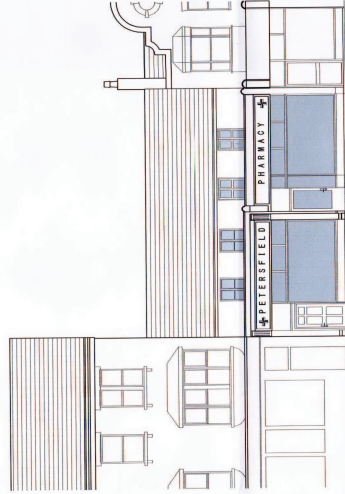
DRAWING NO: 13504 / 06 c



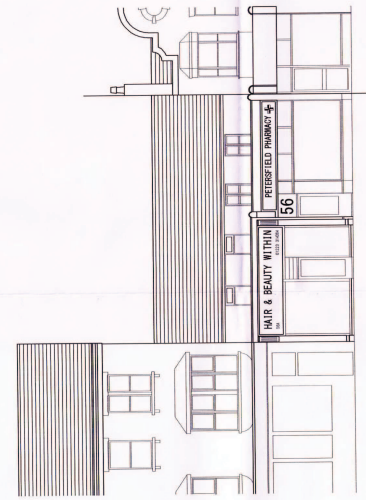
South Eastern Elevation



South Eastern Elevation



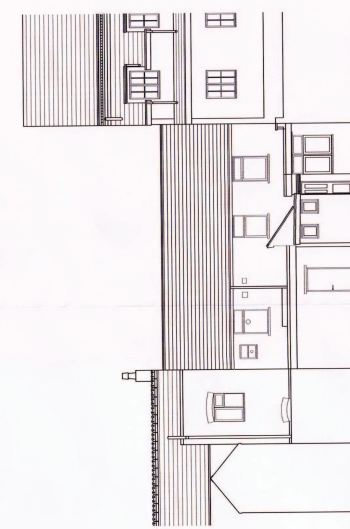
North Eastern Elevation



North Eastern Elevation



South Western Elevation



South Western Elevation

Proposed

Existing



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**NOTES**  
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**Rev:**  
a - 23 January 2014 - Layout revised to units 2 & 6



**CHARTERED BUILDING SURVEYORS**  
The Coach House  
Station Farm  
Fen Road  
Lode  
Cambridge  
CB25 9HD

Telephone : 01223 812700  
Fax : 01223 812701

**CLIENT:**

Mr. A Sharma

**JOB TITLE:**

56 & 56a Mill Road  
Cambridge

**DRAWING TITLE:**

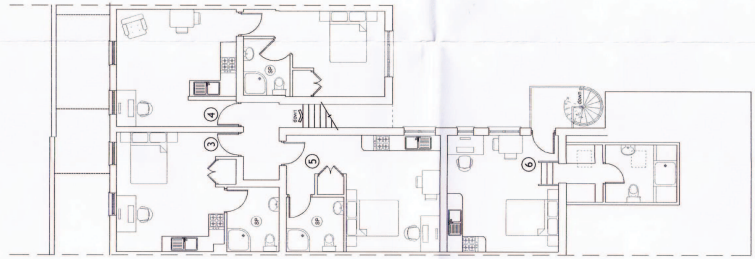
Existing & Proposed  
Plans

**SCALE:** 1 : 100 @ A1

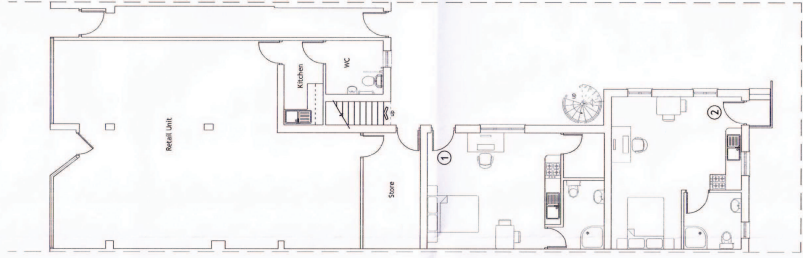
**DATE:** 5 November 2013

**DRAWN:** DPB

**DRAWING NO:** 13504 / 05 a



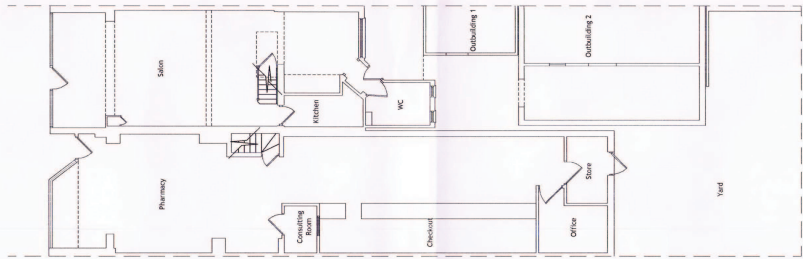
Proposed First Floor Plan



Proposed Ground Floor Plan



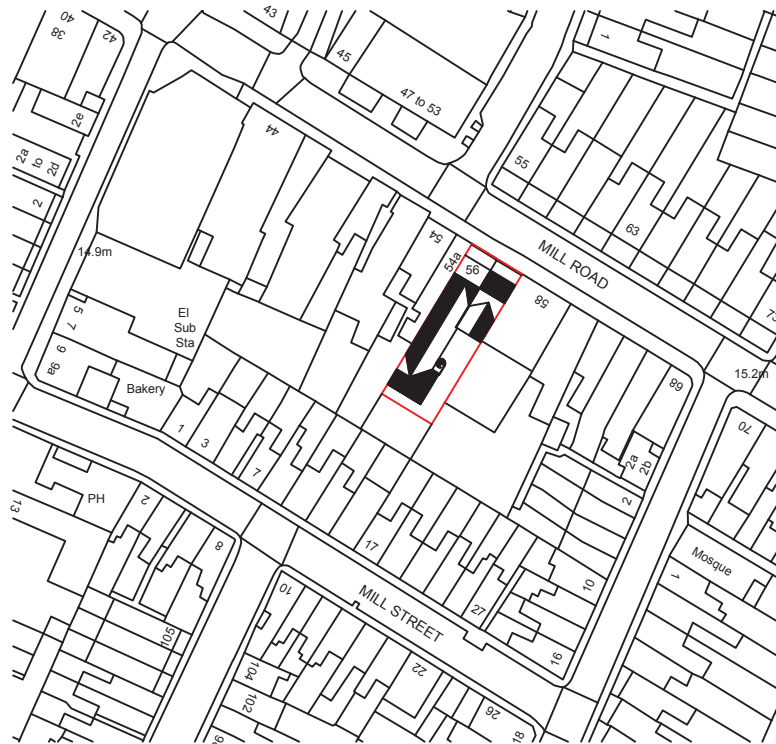
Existing First Floor Plan



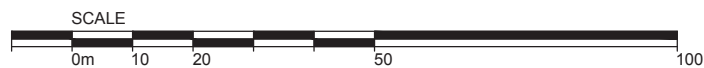
Existing Ground Floor Plan



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**NOTES**  
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CHARTERED BUILDING SURVEYORS

The Coach House, Station Farm  
Fen Road, Lode  
Cambridge  
CB25 9HD

Telephone : 01223 812700  
Fax : 01223 812701

CLIENT:

Mr A Sharma

JOB TITLE:

56 & 56a Mill Road  
Cambridge

DRAWING TITLE:

Location Plan

SCALE: 1 : 1250 @ A4

DATE: October 2013

DRAWN: DPB

DRAWING No:

13504 / 04

Rev:

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<b>Application Number</b>	13/1814/FUL	Agenda Item	
<b>Date Received</b>	18th December 2013	<b>Officer</b>	Mr Amit Patel
<b>Target Date</b>	12th February 2014		
<b>Ward</b>	Abbey		
<b>Site</b>	Land To The Rear Of 76 Abbey Road Cambridge Cambridgeshire CB5 8HQ		
<b>Proposal</b>	Erection of 2No. 1.5 storey dwellings following demolition of existing lock-up garages		
<b>Applicant</b>	Mr James Arnold Bennell Farm West Street Comberton Cambridge Cambridgeshire CB23 7DS		

SUMMARY	<p>The development accords with the Development Plan for the following reasons:</p> <p>Provides additional housing</p> <p>Will not have a detrimental impact upon the neighbouring occupiers</p> <p>The design will be in keeping with the surrounding area</p>
RECOMMENDATION	APPROVAL

## **1.0 SITE DESCRIPTION/AREA CONTEXT**

- 1.1 The site is a pair of garages located between 68 and 76 Abbey Road close to the junction with Riverside. The area is predominately residential in character with two-storey terrace houses finished in brick with slate roof.
- 1.2 To the north of the site is number 76, to the south is number 68, to the east is the rear garden of 13 Riverside, and to the west is the public highway and car park immediately opposite the site. The topography of the area means that the land rises slightly from north to south.

1.3 The site falls within the Riverside section of City of Cambridge Conservation Area No.1 (Central) and there are no listed buildings close by. The site falls within the controlled parking zone. The site falls within Flood Risk Zone 2.

## 2.0 THE PROPOSAL

2.1 This application follows a previous approval (13/0102/FUL). The previous proposal was to convert the existing garages into two one-bedroom flats. The present proposal involves the demolition of the existing buildings and their replacement by new residential units. The design, form and scale of the proposed dwellings will be the same as the previously approved scheme. The main changes proposed, relative to the existing building are:

1. Raising the eaves height by 400mm to 3.3m from 3.7m
2. Increasing the ridge height from 3.8m to 4.2m
3. Addition of roof lights to front and rear slopes of the roof
4. Change in the street elevation by changing the middle garage door to a glazed door
5. Landscaping to the front.

2.2 The application is accompanied by the following supporting information:

1. Design Statement
2. Flood Risk Assessment
3. Flood Assessment Part1
4. Plans

## 3.0 SITE HISTORY

Application Reference	Description	Outcome
13/0102/FUL	Proposed conversion of existing lock-up garages to form 2No. 1.5 storey dwellings	Approved

#### 4.0 PUBLICITY

4.1 Advertisement:	Yes
Adjoining Owners:	Yes
Site Notice Displayed:	Yes

#### 5.0 POLICY

5.1 See Appendix 1 for full details of Central Government Guidance, East of England Plan 2008 policies, Cambridgeshire and Peterborough Structure Plan 2003 policies, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

5.2 Relevant Development Plan policies

PLAN	POLICY NUMBER
Cambridge Local Plan 2006	3/1 3/4 3/7 3/8 3/11 3/12 4/11 4/16 5/1 5/5 5/14 8/1 8/2 8/4 8/6 8/10 10/1

5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework March 2012 Circular 11/95 Community Infrastructure Levy Regulations 2010
Supplementary Planning Documents	Sustainable Design and Construction Planning Obligation Strategy

Material Considerations	<u>Central Government:</u> Letter from Secretary of State for Communities and Local Government (27 May 2010) Written Ministerial Statement: Planning for Growth (23 March 2011)
	<u>Citywide:</u> Open Space and Recreation Strategy Cycle Parking Guide for New Residential Developments
	<u>Area Guidelines:</u> Conservation Area Appraisal: Riverside and Stourbridge Common Conservation Area Appraisal

## 6.0 CONSULTATIONS

### Cambridgeshire County Council (Engineering)

- 6.1 The proposed dwellings would not qualify for Residents Parking permits except those for visitors, but the site is close to streets where there is no control and this would lead to high competition in those streets if the occupiers were to keep cars. Conditions sought relating to removing the existing dropped kerb, drainage and funding a Traffic Regulation Order. Informatives suggested regarding public utilities, approval of any highway works by County Highways and avoidance of encroachment onto the public highway.

### Head of Environmental Services

- 6.2 The properties should have three 140 litre bins and a condition relating to working hours and dust informative.



## **Historic Environment Manager**

- 6.3 The application is supported with conditions relating to approval of Materials Panel, external colours, brickwork, roof lights and roofing materials.

## **Environment Agency**

- 6.4 The Environment Agency commented the following previously:

*“Following submission of an emergency plan, the Agency is satisfied on the issue of risk to future occupiers, and withdraws its earlier objection, subject to conditions to ensure the proposed raised walkway is an open structure, and to remove permitted development rights.”*

- 6.5 The above responses are a summary of the comments that have been received. Full details of the consultation responses can be inspected on the application file.

## **7.0 REPRESENTATIONS**

- 7.1 The owners/occupiers of the following addresses have made representations:

- 68 Abbey Road
- 13 Riverside

- 7.2 The representations can be summarised as follows:

- The raise in height by 400 or 450mm would create a sense of enclosure;
- Reduce the level of natural light;
- Damage to neighbours property
- Health and Safety implication to neighbours.
- Demolition will create a security breach to neighbours
- Damage to plant and electricity cable
- Party wall with the neighbours
- Construction work will create a noise and nuisance to occupiers
- Overlooking to neighbouring properties

- 7.3 The above representations are a summary of the comments that have been received. Full details of the representations can be inspected on the application file.

## **8.0 ASSESSMENT**

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces and impact on the Conservation Area
3. Residential amenity
4. Refuse arrangements
5. Highway safety
6. Car and cycle parking
7. Flooding
8. Third party representations
9. Planning Obligation Strategy

### **Principle of Development**

8.2 Policy 5/1 of the Cambridge Local Plan explains that provision is made for an increase of 12,500 dwellings over the period 1999-2016; although it recognises that many of these will be from larger sites within the urban area and in the urban extensions, development for housing on windfall sites, such as this, will be permitted subject to the existing land use and compatibility with adjoining uses. This is in a predominantly residential area. I address the compatibility issue below, but in my view, the principle of development is acceptable.

### **Context of site, design and external spaces and impact on the Conservation Area**

8.3 The application is the same as the previously approved scheme, except that this proposal seeks to demolish the building due to underground servicing. There has been no fundamental change in policy or the site context and therefore the proposal is acceptable. The Conservation officers have commented that the demolition and re-building using the reclaimed bricks is acceptable subject to additional conditions relating to sample panel and reusing of materials (Condition 6 and 7). I agree with their advice and recommend this condition. I support the conditions suggested by the Conservation Officer about brickwork and roofing details (Condition 3 and 4), but in my view those suggested with respect to rooflights and

paintwork are not in accordance with Circular 11/95. Subject to conditions, I do not consider that this proposal will have a harmful impact

- 8.4 Subject to condition, In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/4, 3/7, 3/11, 3/14 and 4/11.

### **Residential Amenity**

Impact on amenity of neighbouring occupiers

- 8.5 The previous application was acceptable in terms of impact to neighbouring occupiers. Comments have been received about the proposal impacting upon number 13 Riverside through the loss of light and sense of enclosure. The proposal lies south of this neighbour and is increasing in height by 400mm at the eaves and ridge. The roof design is hipped, the building is much lower than adjoining buildings and is set away from the gable of that house. Taking all these factors into account and the fact that the proposed development is sited north of number 13, I do not consider that No. 13 will lose light or suffer enclosure to an extent that would warrant a refusal.
- 8.6 The proposed units lie to the south of 76 Abbey Road and 13 Riverside. Given the hipped design of the roof and the limited increase in height of 400mm, the proposal would not in my opinion have a significant overshadowing or enclosing impact upon these neighbours.
- 8.7 There are roof lights proposed in the rear elevation serving the internal stairs. There is the potential for some overlooking from these roof lights to the rear. However, if they are obscure glazed and any opening is at least 1.7m above floor level I do not consider the adjoining neighbours would suffer loss of privacy from these windows. I recommend a condition accordingly (Condition 5). The front roof lights overlook a car park area. This would improve natural surveillance and would not create any new overlooking.
- 8.8 Comments have been received that the works will create a noise nuisance to the neighbouring occupiers though construction activity. The Environmental Health Team has noted this and recommends a condition to control working hours

(Condition 8) and I agree with their advice and recommend a condition.

- 8.9 In my opinion, subject to condition, the proposal adequately respects the residential amenity of its neighbours and the constraints of the site and I consider that it is compliant with Cambridge Local Plan (2006) policies 3/4 and 3/7.

Amenity for future occupiers of the site

- 8.10 The footprint of the building is not changing and although this will not provide external private amenity space for future occupiers I consider that this is acceptable, given that these are one-bedroom properties which are close to large open spaces of Midsummer Common and Jesus Green.

- 8.11 In my opinion the proposal provides a high-quality living environment and an appropriate standard of residential amenity for future occupiers, and I consider that in this respect it is compliant with Cambridge Local Plan (2006) policies 3/7 and 3/12 .

### **Refuse Arrangements**

- 8.12 The proposal shows three bins in the front area. This is in accordance with the City Council waste standard and is acceptable.

- 8.13 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 3/12.

### **Highway Safety**

- 8.14 The local highway authority raises no issues relating to safety, and in my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 8/2.

### **Car and Cycle Parking**

- 8.15 There is no car parking associated with the development and this is in accordance with the Council's car parking standards. In my view there is a strong likelihood that occupiers of such small units in such sustainable location would elect not to keep a car. Parking in the immediate area is in any case, controlled. I

do not consider that the highway authority's request for a condition requiring the applicant to partly fund reinstatement of the kerb and creation of a Traffic Regulation Order can be justified. There is cycle parking space internally for a single cycle, and this is in line with the cycle parking standards in the Cambridge Local Plan (2006).

- 8.16 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 8/6 and 8/10.

### **Flooding**

- 8.17 The Environment Agency previously commented that the proposal should be refused because there is a possibility of health and safety issues of movement of people from the site to safe land in the event of flooding. The applicants have addressed this by submitting an emergency plan (Flood Assessment 1). The Environment Agency is now satisfied, and has withdrawn its objection, subject to conditions (Conditions 9 and 10) to ensure the proposed raised walkway is an open structure, and that no sheds or outbuildings can be erected without permission. I accept this advice and recommend such conditions.

- 8.18 Subject to conditions, in my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 4/16.

### **Third Party Representations**

- 8.19 The third party comments have been addressed in the report above.

The issues raised regarding security, Health and Safety and Party Wall matters are outside the control of planning and could not be used as a reasonable reason for refusal.

### **Planning Obligation Strategy**

- 8.20 The Community Infrastructure Levy Regulations 2010 have introduced the requirement for all local authorities to make an assessment of any planning obligation in relation to three tests. If the planning obligation does not pass the tests then it is unlawful. The tests are that the planning obligation must be:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

In bringing forward my recommendations in relation to the Planning Obligation for this development I have considered these requirements. The Planning Obligation Strategy (2010) provides a framework for expenditure of financial contributions collected through planning obligations. The applicants have indicated their willingness to enter into a S106 planning obligation in accordance with the requirements of the Strategy and relevant Supplementary Planning Documents. The proposed development triggers the requirement for the following community infrastructure.

### Open Space

- 8.21 The Planning Obligation Strategy requires that all new residential developments contribute to the provision or improvement of public open space, either through provision on site as part of the development or through a financial contribution for use across the city. The proposed development requires a contribution to be made towards open space, comprising outdoor sports facilities, indoor sports facilities, informal open space and provision for children and teenagers. The total contribution sought has been calculated as follows.
- 8.22 The application proposes the creation of two one-bedroom houses. A house or flat is assumed to accommodate one person for each bedroom, but one-bedroom units are assumed to accommodate 1.5 people. Contributions towards provision for children and teenagers are not required from one-bedroom units. The totals required for the new buildings are calculated as follows:

<b>Outdoor sports facilities</b>					
Type of unit	Persons per unit	£ per person	£ per unit	Number of such units	Total £
studio	1	238	238		
1 bed	1.5	238	357	2	714
2-bed	2	238	476		
3-bed	3	238	714		
4-bed	4	238	952		
<b>Total</b>					<b>714</b>

<b>Indoor sports facilities</b>					
Type of unit	Persons per unit	£ per person	£ per unit	Number of such units	Total £
studio	1	269	269		
1 bed	1.5	269	403.50	2	807
2-bed	2	269	538		
3-bed	3	269	807		
4-bed	4	269	1076		
<b>Total</b>					<b>807</b>

<b>Informal open space</b>					
Type of unit	Persons per unit	£ per person	£ per unit	Number of such units	Total £
studio	1	242	242		
1 bed	1.5	242	363	2	726
2-bed	2	242	484		
3-bed	3	242	726		
4-bed	4	242	968		
<b>Total</b>					<b>726</b>

8.23 The S106 has been yet to be agreed but the applicant is willing to enter into an agreement and subject to completion the proposal will comply with the Planning Obligation Strategy (2010) and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/8 and 10/1 and the Planning Obligation Strategy 2010 and the Cambridge City Council Open Space

## Standards Guidance for Interpretation and Implementation (2010)

### Community Development

- 8.24 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to community development facilities, programmes and projects. This contribution is £1256 for each unit of one or two bedrooms and £1882 for each larger unit. The total contribution sought has been calculated as follows:

<b>Community facilities</b>			
Type of unit	£ per unit	Number of such units	Total £
1 bed	1256	2	2512
2-bed	1256		
3-bed	1882		
4-bed	1882		
<b>Total</b>			<b>2512</b>

- 8.25 The S106 has been yet to be agreed but the applicant is willing to enter into an agreement and subject to completion the proposal will comply with the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridgeshire and Peterborough Structure Plan (2003) policies P6/1 and P9/8, Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

### Waste

- 8.26 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the provision of household waste and recycling receptacles on a per dwelling basis. As the type of waste and recycling containers provided by the City Council for houses are different from those for flats, this contribution is £75 for each house and £150 for each flat. The total contribution sought has been calculated as follows:



<b>Waste and recycling containers</b>			
Type of unit	£ per unit	Number of such units	Total £
House	75	2	150
Flat	150		
<b>Total</b>			<b>150</b>

8.27 The S106 has been yet to be agreed but the applicant is willing to enter into an agreement and subject to completion the proposal will comply with the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridgeshire and Peterborough Structure Plan (2003) policies P6/1 and P9/8, Cambridge Local Plan (2006) policies 3/7, 3/12 and 10/1 and the Planning Obligation Strategy 2010.

#### Monitoring

8.28 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the costs of monitoring the implementation of planning obligations. The costs are calculated according to the heads of terms in the agreement. The contribution sought will be calculated as £150 per financial head of term, £300 per non-financial head of term. Contributions are therefore required on that basis.

#### Planning Obligations Conclusion

8.29 It is my view that the planning obligation is necessary, directly related to the development and fairly and reasonably in scale and kind to the development and therefore the Planning Obligation passes the tests set by the Community Infrastructure Levy Regulations 2010.

### **9.0 RECOMMENDATION**

**1. APPROVE subject to the satisfactory completion of the s106 agreement by 1<sup>st</sup> March 2014 and subject to the following conditions and reasons for approval:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

3. All new brickwork shall match exactly the historic work nearby in terms of bond, mortar mix design, joint thickness, pointing technique, brick dimension, colour and texture, etc.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

4. No roofs shall be constructed until full details of the type and source of roof covering materials and the ridge, eaves and hip details, if appropriate, have been submitted to the local planning authority as samples and approved in writing. Roofs shall thereafter be constructed only in accordance with the approved details.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

5. The rooflights hereby permitted in the rear roof slope of the building shall be obscure glazed, and any point of opening shall be at least 1.7m above stair level at that point.

Reason: to protect the privacy of neighbouring occupiers. (Cambridge Local Plan 2006 policy 3/4)

6. Before starting any brick or stone work, a sample panel of the facing materials to be used shall be erected on site to establish the detail of bonding, coursing and colour and type of jointing and shall be agreed in writing with the local planning authority. The quality of finish and materials incorporated in any approved sample panel(s), which shall not be demolished prior to completion of development, shall be maintained throughout the development.

Reason: In the interests of visual amenity and to ensure that the quality and colour of the detailing of the brickwork/stonework and jointing is acceptable and maintained throughout the development. (Cambridge Local Plan 2006 policies 3/4 and 3/12)

7. Materials, especially bricks, roof and ridge/hip tiles, and double door strap hinges shall be salvaged from the building to be demolished for re-use in the permitted new building.

Reason: To avoid harm to the special interest of the Conservation Area. (Cambridge Local Plan 2006, policy 4/11)

8. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

9. No development shall take place until full details of the raised walkway proposed to facilitate escape from flood waters have been submitted to, and approved in writing by, the local planning authority. The proposed walkway shall not involve any raising of land levels, but shall be only an open structure.

Reason: To protect occupiers from flood risk, and to avoid any danger of increased flooding elsewhere. (Cambridge Local Plan (2006) policy 4/16).

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no extensions, or additions or garages shall be erected other than those expressly authorised by this permission.

Reason: To protect the amenity of adjoining properties, and to prevent overdevelopment of the site. (Cambridge Local Plan 2006 policies 3/4 and 3/14)

**INFORMATIVE:** The applicant is advised that this development involves work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicants responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council.

**INFORMATIVE:** The applicant is advised that public utility apparatus may be affected by this proposal. Contact the appropriate utility service to reach agreement on any necessary alterations, the cost of which must be borne by the applicant.

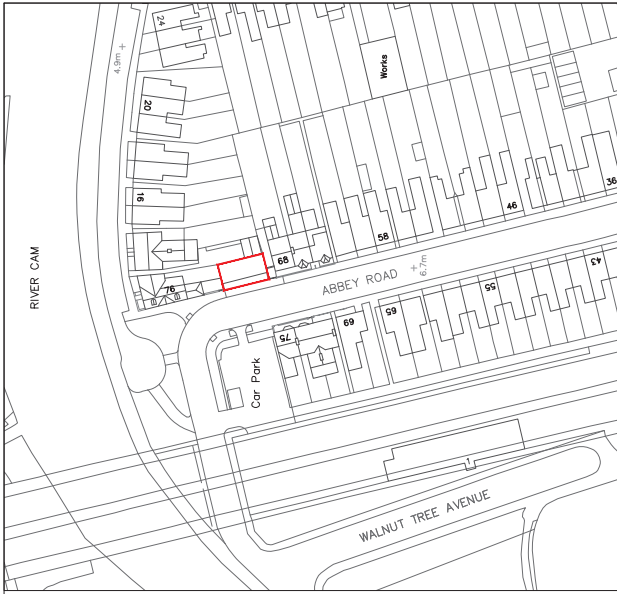
**INFORMATIVE:** The applicant is advised that following implementation of any Permission issued by the Planning Authority in regard to this proposal the residents of the new dwelling will not qualify for Residents' Permits (other than visitor permits) within the existing Residents' Parking Schemes operating on surrounding streets.

**2. Unless prior agreement has been obtained from the Head of Planning, in consultation with the Chair and Spokesperson of this Committee to extend the period for completion of the Planning Obligation required in connection with this development, if the Obligation has not been completed by 1<sup>st</sup> March 2014, or if Committee determine that the application be refused against officer recommendation of approval, it is recommended that the application be refused for the following reason(s):**

The proposed development does not make appropriate provision for public open space, community development facilities, waste facilities, and monitoring in accordance with Cambridge Local Plan 2006 policies 3/7, 3/8, 3/12, 5/5, 5/14, 8/3 and 10/1 and as detailed in the Planning Obligation Strategy 2010, the Open Space Standards Guidance for Interpretation and Implementation 2010

**3. In the event that the application is refused, and an Appeal is lodged against the decision to refuse this application, delegated authority is sought to allow officers to negotiate and complete the Planning Obligation required in connection with this development**

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LOCATION PLAN 1:1000

REV A: 27-03-13  
 Plans amended to show storage  
 space for 3No. wheelie bins per  
 unit

CLIENT  
 BEECHWOOD ESTATES

PROJECT  
 PROPOSED DEVELOPMENT  
 LAND ADJ. 68 ABBEY ROAD,  
 CAMBRIDGE

TITLE  
 SITE PLAN- AS PROPOSED

DRAWING STATUS  
 PLANNING

DRAWN	DSR	CHECKED	NP
SCALE		1:200 @ A2	
DATE		Jan. '13	

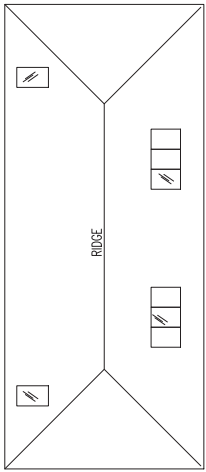
THE GALLERY  
 96 KING ST  
 CAMBRIDGE  
 CB1 1LN  
 T: 01223 361803  
 F: 01223 361804  
 e: info@dpaarchitects.co.uk

JOB NO.	DRAWING NUMBER	REV
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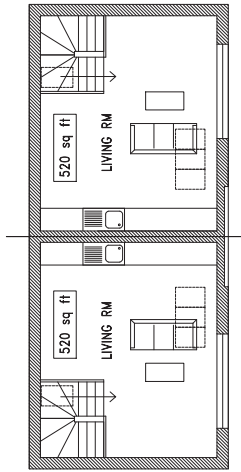


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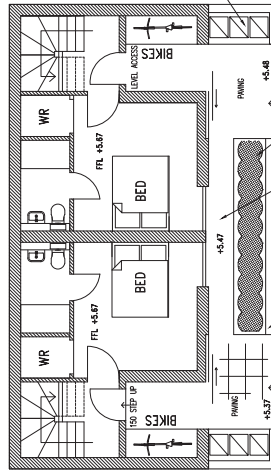




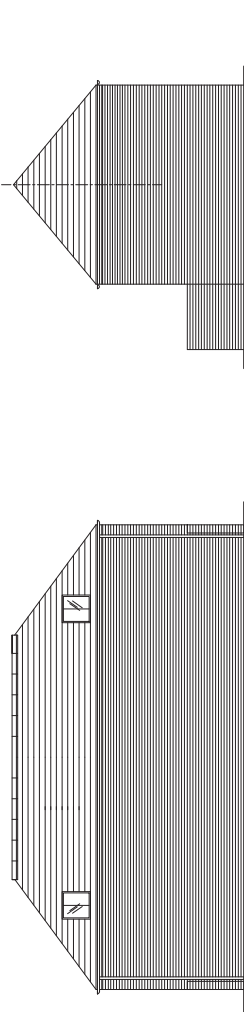
ROOF PLAN



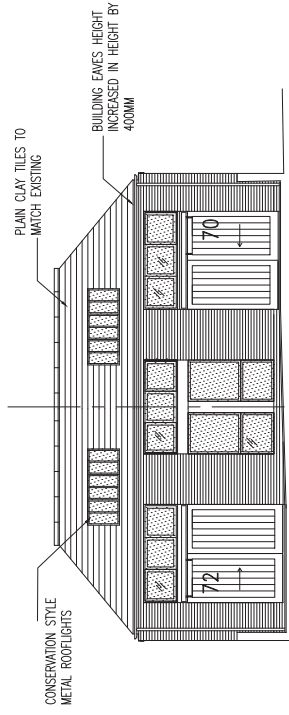
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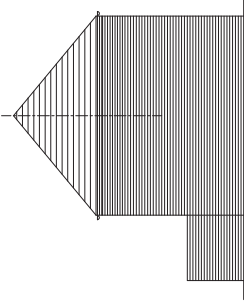
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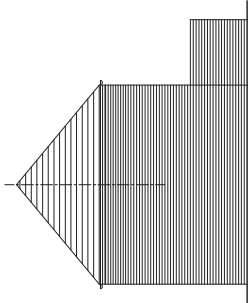
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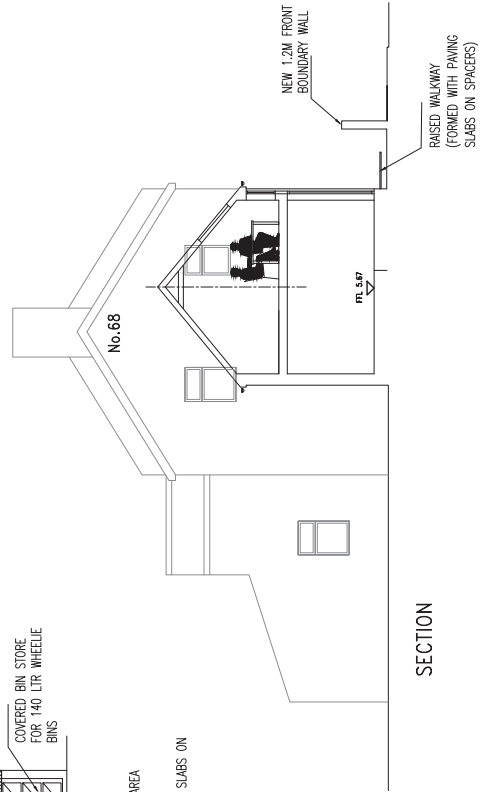
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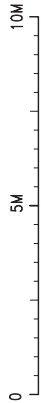
SIDE ELEVATION



SIDE ELEVATION



SECTION



CLIENT  
BEECHWOOD ESTATES

PROJECT  
PROPOSED DEVELOPMENT  
LAND ADJ. 68 ABBEY ROAD,  
CAMBRIDGE

TITLE  
PLANS AND ELEVATIONS-AS PROPOSED

DRAWING STATUS  
PLANNING

DRAWN NP CHECKED

SCALE 1:100 @ A2

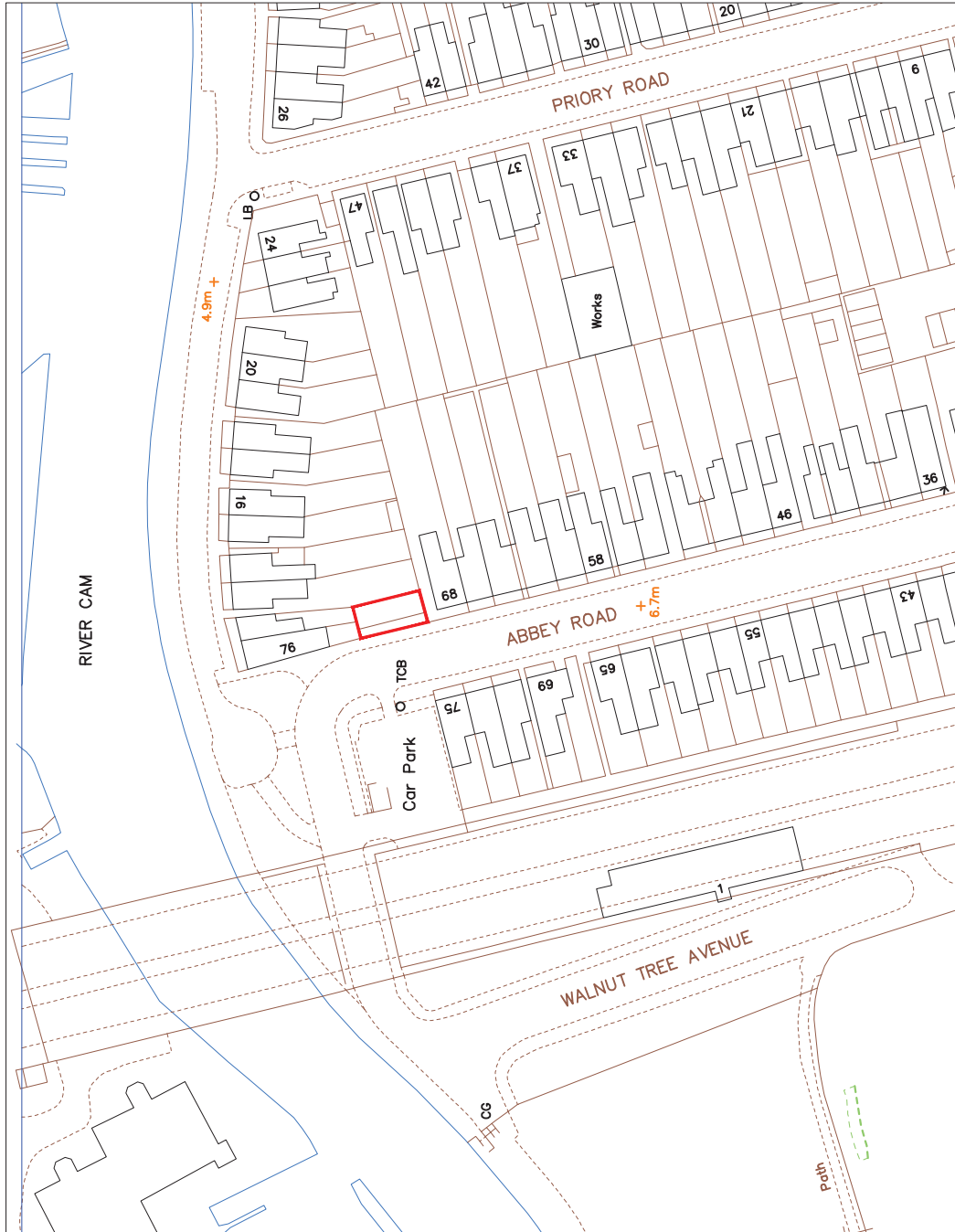
DATE Dec. '13

THE GALLERY  
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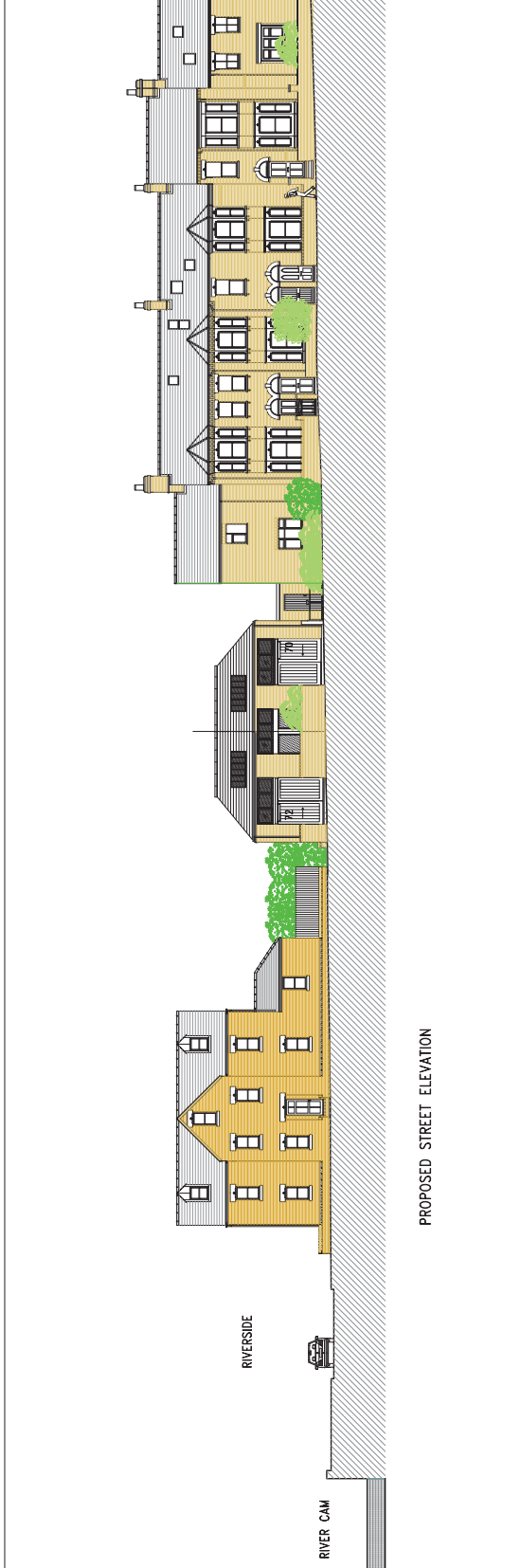
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REV B

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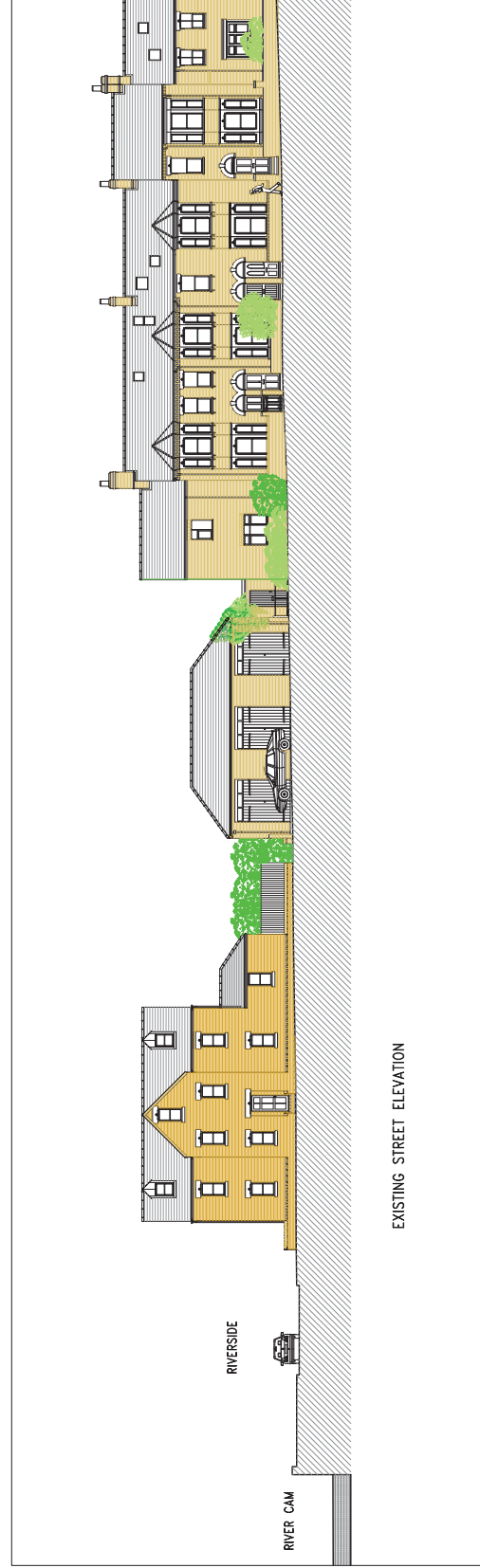


LOCATION PLAN 1:1250 @ A4

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PROPOSED STREET ELEVATION



EXISTING STREET ELEVATION

CLIENT  
BEECHWOOD ESTATES

PROJECT  
PROPOSED DEVELOPMENT  
LAND ADJ. 68 ABBEY ROAD,  
CAMBRIDGE

TITLE  
STREET SCENE --AS PROPOSED  
STREET SCENE --AS EXISTING

DRAWING STATUS  
PLANNING

DRAWN	LC/NP	CHECKED
SCALE	1:100 @ A2	
DATE	Dec. '12	

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**dpa**  
architects

JOB NO.	DRAWING NUMBER	REV
306	306-P-04	A

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